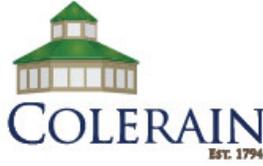


**COLERAIN TOWNSHIP ZONING COMMISSION**  
Regular Meeting  
**Tuesday, June 19 - 6:00 p.m.**

Colerain Township Government Complex  
4200 Springdale Road - Cincinnati, OH 45251

1. Meeting called to order.  
Pledge of Allegiance.  
Roll Call.
2. Approval of Minutes: April 17, 2018 meeting.
3. Public Address: None.
4. Final Development Plan:  
**ZA1988-8 Colerain Towne Center** – Parcel 4  
AutoZone Store No. 4959  
10164 Colerain Avenue
5. Public Hearings: None.
6. Informal Concept Review: None.
7. Old Business: None.
8. New Business: None.
9. Administration: None.
10. Announcements: None.
11. Next Meeting: August 21, 2018
12. Adjournment.



## **Final Development Plan**

ZA1988-8 Colerain Towne Center – Parcel 4

AutoZone Store No. 4959

10164 Colerain Avenue

June 19, 2018

Prepared By: Marty Kohler  
Senior Planner

### **PROJECT SUMMARY:**

Phillip Gambrell, PE with Prism Engineering has submitted an application on behalf of AutoZone, Inc. for a Final Development Plan. The proposal is to construct a new 6,000 square foot retail auto parts store on a 1.959 acre out-lot of the Colerain Town Center located on the east side of Colerain Avenue north of I-275 and south of Struble Road.

### **PROJECT HISTORY:**

The Preliminary Development Plan for Colerain Towne Center was initially approved in November 1988 and has been amended several times since then. The development includes a Walmart, two strip centers on the north and south sides of the property and several smaller out-lots on the Colerain Avenue frontage. The Zoning for the development is PD-B (Planned Development Business) on the south portion and PD-I (Planned Development Industrial) on the north side. The Preliminary Development Plan originally contained a light industrial component along the Struble Road frontage of the site. The light industrial portion was separated from the Colerain Towne Center in 2017 with a replacement plan for a light industrial development and office building for the Rumpke headquarters building. This portion of the development is now named “Struble Road Development”.

The five out-lots facing Colerain Avenue now contain (from south to north) Wendy’s Restaurant, Burger King Restaurant, Tire Discounters, the vacant subject lot, and Speedway Fuel/Convenience Store. Across Colerain Avenue to the west is Lowes, Skyline Chili, and Steak and Shake.

### **SITE DESCRIPTION:**

The 1.959 acre out-lot property has frontage on Colerain Avenue and a private road entrance to the Colerain Towne Center north strip center which is anchored by Dick’s Sporting Goods at the west end of the center. This is the only remaining vacant parcel left in the Colerain Town Center development. While the lot is mostly on the same elevation as Dick’s Sporting Goods, the ground level drops about 15 feet from Colerain Avenue at the south side of the property and about 27 feet from Colerain at the north side. The Speedway station to the north of the site is about 25 feet higher in elevation than the site for the proposed AutoZone.

## **PROPOSED DEVELOPMENT:**

The applicant proposes to construct a new 6,000 square foot retail store with 30 parking spaces. The development includes landscaping, exterior lighting, and a freestanding sign. Vehicle access is proposed from the east side of the property adjacent to Dick's Sporting Goods. The majority of the development is on the south end of the lot with the north end proposed to be left in grass. Street visibility from Colerain Ave. is difficult at the north end of the site unless the development were multi-floors. Because of the elevation change, only the roof of the proposed building will be visible to southbound traffic on Colerain Ave.

## **CONFORMANCE WITH COMPREHENSIVE PLAN:**

The proposed development is in the "Banklick Creek" character area in the 2005 Comprehensive Plan. The land use guidelines states "Retail Commercial uses are appropriate provided that they are located along Colerain Avenue south of the Struble Road intersection". The proposed project is within this area.

## **CONFORMANCE WITH ZONING RESOLUTION:**

Staff conducted a preliminary review of the development plan shortly after receiving the application and forwarded comments to the applicant. The applicant responded with the notes shown in italics.

1. The maximum height for the light poles is 24 feet and 28 feet is proposed (sec 12.9.4(A)) *We will adjust the height to be a maximum of 24 ft.*
2. More information is needed regarding the exterior wall mounted lights shown on the elevation drawings. (wall pack lights are typically discouraged unless they have cutoff shields) *Wall pack information was provided on the owner supplied photometric plan. They are Lithonia Lighting D-Series Size 1. They are LED lights and have cutoff shields.*
3. A photometric plan is needed per section 12.9.4 (D) *An owner supplied photometric plan was included with the submittal package. It will need to be updated to reflect the 24 ft light pole limit.*
4. Landscaping is required around the ground sign per sec 15.4.4 (sign scales to 10 foot from the right-of-way which is correct) signs can be reviewed administratively as long as they comply with standards. *We will provide a detailed layout of the sign location showing the proposed landscaping per sec 15.4.4.*
5. Details regarding the retaining wall material is needed. *The retaining wall will be a segmental block design. We will provide cut-sheets of the proposed type and style for your review.*
6. The front facades of the building need to have wall offsets per 12.11.1(A)(1) or see alternatives in following sections. *We will need to discuss this with the owner.*
7. Rooftop mechanicals must be screened (more information needed) per 12.11.1(B)(2) This may not be practical given the elevation of the building with respect to the street. *We will need to discuss this with the owner.*

8. A customer entry is required on the street frontage (west side) of the building per 12.11.1(C) – Zoning Commission could consider a variance from this standard if the west side of the building had more architectural features to resemble a store front. ***We will need to discuss this with the owner.***

9. When flat roofs are used, the parapet needs to have a 3 dimensional cornice cap that projects a minimum of 8 inches from the façade plane per section 12.11.1(B)(1). ***We will need to discuss this with the owner.***

Since the responses given above, the applicant has provided a photometric drawing which addresses the concern in item 3. Information has been submitted for the proposed retaining wall addressing the concern in item 5. Revised elevation drawings have been submitted for the building which partially address the concerns in items 6 through 9 above.

As an additional note, the Colerain Towne Center out-lots constructed to date have uniform freestanding signs that are seven foot in height, 42 square feet in size and 10 feet back from the right-of-way. The sign for the Discount Tire store immediately to the south is actually taller when measured from grade. It appears that an allowance was made to allow the top of the sign to be seven feet above grade in relation to the sidewalk in front of the store since the ground level drops sharply behind the sidewalk. Staff recommends that similar height consideration be given for the proposed AutoZone development.

#### **RECOMMENDATION:**

THAT THE PROPOSED FINAL DEVELOPMENT PLAN BE APPROVED SUBJECT TO THE FOLLOWING CONDITIONS AND VARIANCES:

#### **Conditions:**

1. The maximum height for the light poles is 24 feet per section 12.9.4(A)).
2. More information is needed regarding the exterior wall mounted lights shown on the elevation drawings. (wall pack lights are typically discouraged unless they have cutoff shields)
3. Landscaping is required around the ground sign per sec 15.4.4.
4. The front facades of the building need to have wall offsets per 12.11.1(A)(1) or see alternatives in following sections.
5. That the parapets have a 3 dimensional cornice cap that projects a minimum of 8 inches from the façade plane per section 12.11.1(B)(1).
6. That the freestanding sign conform to the requirement for Colerain Towne Center out-lots of 42 square feet in size, 10 foot setback from the sidewalk and seven feet in height as measured from the elevation of the sidewalk directly in front of the proposed sign.
7. Wall signs must conform to the standards of section 15.8.3(G) of the Zoning Resolution.

**Variances:**

1. That the screening requirement for rooftop mechanicals per 12.11.1(B)(2) be waived due to the elevation change from the street with respect to the elevation of the building.
2. That the requirement for a customer entry on the street frontage (west side) of the building per 12.11.1(C) be waived on the condition that the architectural features indicated on the revised elevation drawings be included on the west side of the building due to the elevation change from the street with respect to the elevation of the building.



**Application/Submission Requirements  
Colerain Township Zoning Commission  
for Final Development Plan**

For office use only:

**Case #:**

See Zoning Resolution Section 4.3 for full description of the FDP review process. For questions, clarification, and confirmation of meeting times, please call the Colerain Township Planning & Zoning Department at (513) 385-7505.

**All required items must be submitted by the published deadline for the desired Zoning Commission meeting.**

**NAME OF PROJECT:** AutoZone Store # 4959

**PROPERTY ADDRESS:** 10164 Colerain Ave.

- Application letter signed by the applicant, describing conformance with the approved zone change resolution and preliminary plan. (10 copies)
- Application fee
- Performance bond for landscaping and/or storm drainage facilities (if applicable)

**Drawing Copies required:**

Ten (10) full size copies of the drawings listed below, signed and stamped by registered professional preparer. These should be folded to 8.5" x 11", with title block visible.

Ten (10) 11" x 17" copies of the drawings listed below.

Digital version REQUIRED for each of the drawings listed below, in JPEG or PDF format (use colors readable on white background), on CD. To email, contact the Planning & Zoning Dept. for contact: 513-385-7505.

**Site Drawing(s) shall include:**

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Property lines, dimensions, and orientations.</li> <li><input checked="" type="checkbox"/> Adjacent streets and rights-of-way.</li> <li><input checked="" type="checkbox"/> Proposed new construction and site work.</li> <li><input checked="" type="checkbox"/> Equipment, outbuildings, dumpster locations, etc. that will be visible on the site.</li> <li><input checked="" type="checkbox"/> Total gross and net acreage of the site and square footage of proposed buildings.</li> <li><input checked="" type="checkbox"/> Proposed flood plain drainage and control measures.</li> <li><input checked="" type="checkbox"/> Watershed details for site and within 200 feet around site. Include GPM calculations for expected runoff for 5, 10, and 50 year storms.</li> <li><input checked="" type="checkbox"/> Proposed site drainage, including water retention/detention and sedimentation control measures.</li> <li><input checked="" type="checkbox"/> Building downspouts and storm sewer sizes and locations.</li> <li><input checked="" type="checkbox"/> Legal descriptions for easements and other site restrictions.</li> <li><input checked="" type="checkbox"/> Setbacks and rights-of-way.</li> </ul> | <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Parking and loading configuration, including calculation of total spaces, criteria used to determine total needed, pavement detail, curb location, curb detail, and aisle and stall dimensions.</li> <li><input checked="" type="checkbox"/> Existing site contours (5' minimum) and proposed grading plan.</li> <li><input checked="" type="checkbox"/> Impervious surface ratio (for non-single family projects).</li> <li><input checked="" type="checkbox"/> Location(s) of any proposed ground signage.</li> <li><input checked="" type="checkbox"/> All restrictive covenants required by the zone change and preliminary development plan Resolution adopted by the Colerain Township Board of Trustees.</li> <li><input checked="" type="checkbox"/> Other applicable conditions and/or restrictive covenants.</li> <li><input checked="" type="checkbox"/> Deed of Acceptance signed by owners. (After approval).*</li> <li><input checked="" type="checkbox"/> Declaration of Condominium (if applicable).</li> </ul> |
|---|--|

**\*AFTER FDP IS APPROVED, FINAL SITE PLAN MUST BE SUBMITTED LISTING DATE OF APPROVAL AND CONDITIONS.**

**RECEIVED**

MAY 08 2018

**Landscape Drawing(s) shall include:**

- Clearing limits and existing plant material that is to remain, including an indication of the size of all major trees, shrubs, etc. Existing trees of four-inch caliper and greater must be shown if subject to removal. (Size and extent may be conveyed by photograph.)
- Proposed new landscaping including notation indicating size and species of all new plants.
- N/A  Existing landscaping on adjacent properties must be indicated if it influences the landscape planning for the site under construction (may be conveyed by photograph).

**Building Drawing(s) shall include: Under Seperate Package From AutoZone**

- A building plan for each building, showing the interior layout of the building and overall dimensions.
- Exterior elevations shall show all major mechanical equipment, satellite dishes, etc. that will be located on the exterior of the building and the method(s) of screening these items.
- Exterior elevations of all sides of proposed new construction (including significant renovation). Building materials should be noted. (For additions to existing buildings, sufficient portions of the existing building shall be shown in elevation to convey an understanding of the relationship between new construction and existing.
- A roof plan shall be submitted if any major items of equipment are to be located on the roof. (Drawings, photographs, and/or manufacturer's literature may be required to convey the size and character of these items.)

**Lighting and Signage Drawing(s) shall include: Under Seperate Package From AutoZone**

- Text, color, dimensions, character, and location of all existing and proposed signage. (Building mounted signage may be shown on the building elevations.)
- Location, dimensions, details and specifications for exterior lights, including type of standards and radius of lights.
- Photometric chart showing intensity in footcandles across the site and at property lines.

APPLICANT: AutoZone, Inc.

ADDRESS: 123 S. Front Street, Memphis, TN 38103

TELEPHONE NO./EMAIL: 901-495-6736/Carl.Helton@autozone.com

Checklist completed by: Phillip Gambrell, P.E. ; Prism Engineering & Design Group, LLC  
(print or type name)

Signature: 

For Office Use Only:
Fees Paid:
CD enclosed:
Performance Bond Paid:
Zoning Commission:

**RECEIVED**  
MAY 08 2013  
**COLERAIN ZONING**



AUTOZONE STORE DEVELOPMENT  
123 SOUTH FRONT ST. MEMPHIS, TN. 38103  
901-495-6736 fax 901-495-8969

May 8, 2018

Colerain Township  
Building, Planning & Zoning Department  
4200 Springdale Road  
Colerain Township, Ohio 45251

Mr. Marty Kohler,

AutoZone Development, LLC proposes to build a 6,786-sq.ft. Retail store for the sale of auto parts on a 1.959-acre vacant out lot within the existing Colerain Towne Center. The property is currently zoned PD-B (Business Planned Development) for which the proposed use complies.

With this submittal we anticipate being on the docket of the June 19, 2018, Colerain Township Zoning Commission meeting.

Sincerely,

Carl E. Helton  
Store Development Specialist  
AutoZone, Inc.  
123 South Front Street, 3<sup>rd</sup> Floor  
Memphis, TN 38103  
901.495.6736



RECEIVED  
MAY 08 2018  
COLERAIN ZONING

**PRISM ENGINEERING & DESIGN GROUP, LLC**

2309 WATTERSON TRAIL, SUITE 200

LOUISVILLE, KENTUCKY 40299

Phone (502) 491-8891

Fax (502) 491-8898

LETTER OF TRANSMITTAL TO:

DATE 5/8/18 PROJ. NO.: 218024-E1

Marty Kohler

PROJECT: AutoZone #4959

Colerain Township Planning & Zoning Department

10164 Colerain Avenue

4200 Springdale Road

Cincinnati, OH 45251

Cincinnati, OH 45251

We are sending you

**Attached**       Under Separate Cover Via \_\_\_\_\_ the following items:

- Shop Drawings       Prints       Plans       Samples       Specifications  
 Copy of Letter       Survey       Preliminary Plans       **As noted below**

COPIES	DATE OR NUMBER	DESCRIPTION
1	5/8/18	Application Fee – Check No. 8774
1	-	Application for Final Development Plan
10	-	Application Letter
10	-	Plan Set – 24x36 folded <span style="float: right;"><b>RECEIVED</b></span>
10	-	Plan Set – 11x17 <span style="float: right;">MAY 08 2018</span>
1	-	Plan Set – Pdf's on CD <span style="float: right;"><b>COLERAIN ZONING</b></span>

THESE ARE TRANSMITTED AS CHECKED BELOW:

- For Approval**       Approved as Submitted       Resubmit \_\_\_\_\_ Copies for Approval  
 **For Your Use**       Approved as Noted       Submit \_\_\_\_\_ Copies for Distribution  
 **As Requested**       Returned for Corrections       Return \_\_\_\_\_ Corrected Prints  
 **For Review and Comment**       \_\_\_\_\_

FOR BIDS DUE \_\_\_\_\_ 20\_\_

PRINTS RETURNED AFTER LOAN TO US

Remarks:

Marty,

The Building and Sign Drawings will be come to you under separate package from AutoZone.

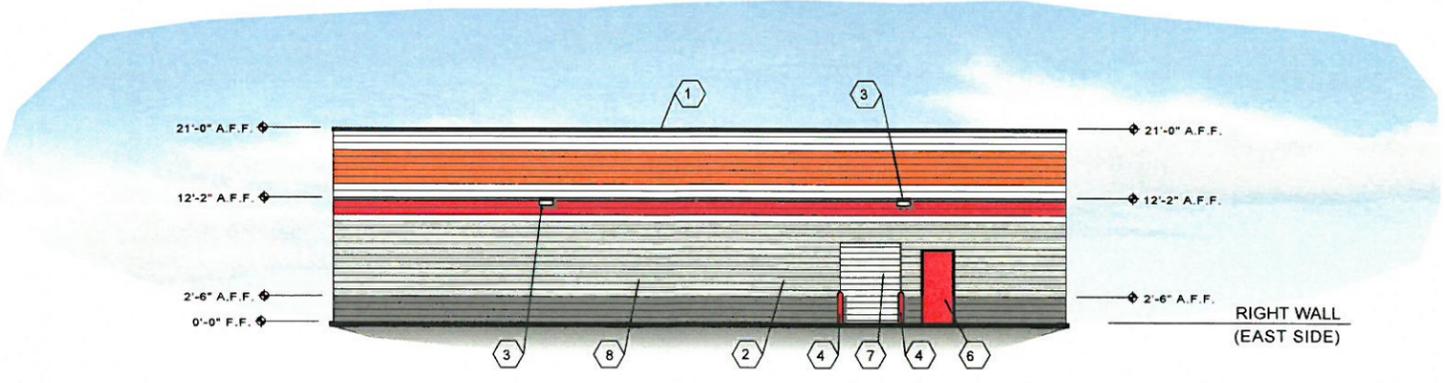
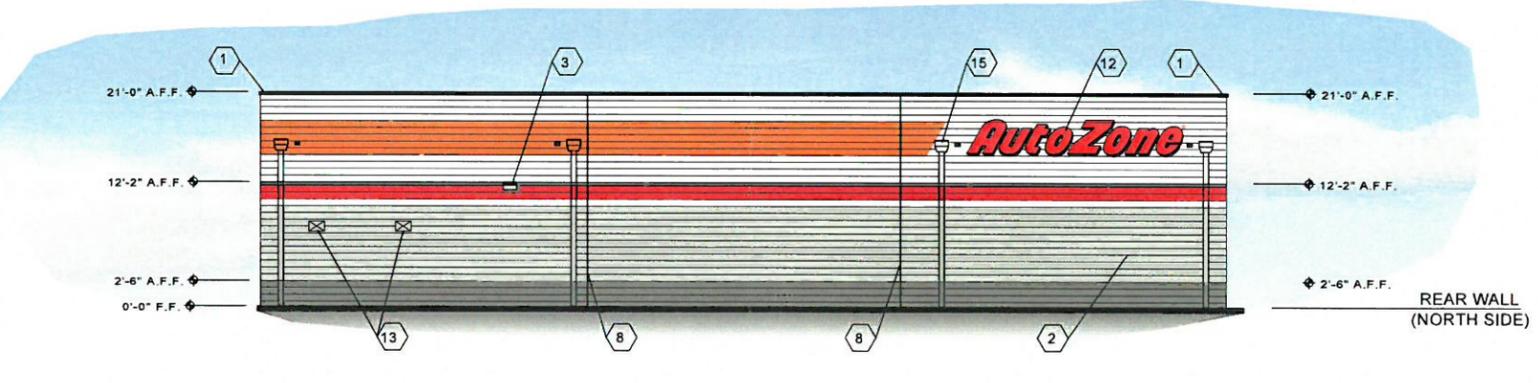
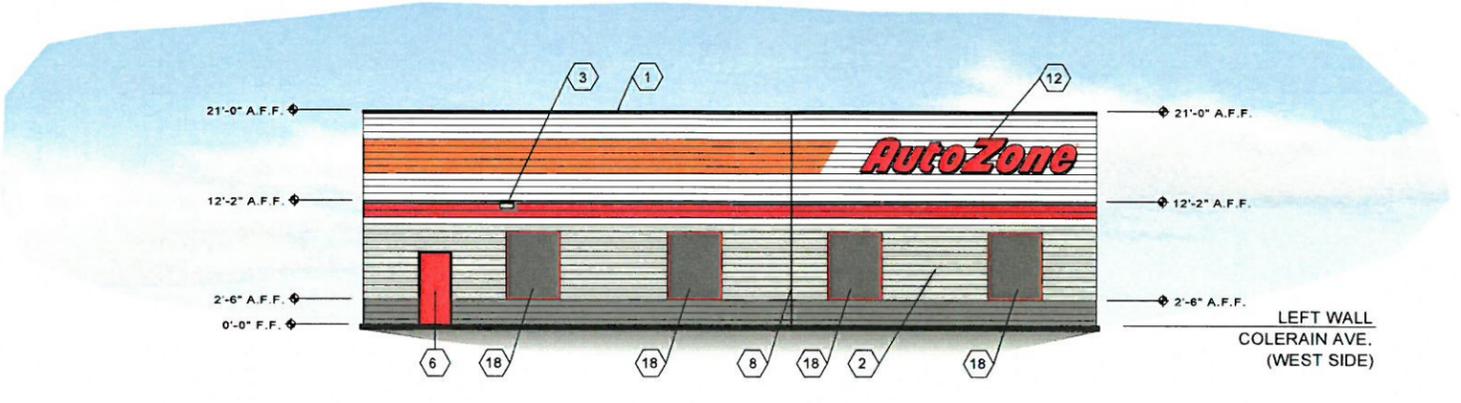
Please contact me at 502.491.8891 ext. 7 or [phil@pedgllc.com](mailto:phil@pedgllc.com) if you have any questions.

If enclosures are not as noted, kindly notify us at once.  
cc:

SIGNED

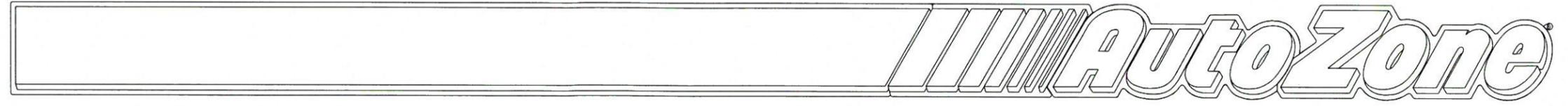
Thank you,  


Philip R. Gambrell, PE, LEED AP



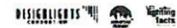
- 1 TWO PIECE COMPRESSION TRIM SEE DETAIL 4/A6
- 2 SMOOTH FACE CONCRETE MASONRY UNITS SEE PAINT SCHEME THIS SHEET
- 3 WALL MOUNTED LIGHT FIXTURE
- 4 PIPE GUARD WITH RED SLEEVE
- 5 MFG. WHITE EXTERIOR INSULATED FINISH - PAINT WHITE
- 6 PAINT MAN DOOR RED & METAL FRAMES BLACK
- 7 DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 FRONT WALL SIGN - 44" CHANNEL LETTER NSTRP
- 12 LEFT/REAR WALL SIGN - 40" CHANNEL LETTER NSTRP
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 PAINT GUTTER AND DOWNSPOUTS TO MATCH BACKGROUND WALL COLOR.
- 16 NOT USED
- 17 CLERESTORY WINDOW - EVERGREEN GLASS
- 18 FAUX WINDOW - OPAQUE BLACK GLASS
- 19 PILASTER WITH 4" PROJECTION

Color Elevation  
 AutoZone Store #4959  
 CINCINNATI, OH





### D-Series Size 1 LED Area Luminaire



#### Specifications

Length: 24"  
Width: 12"  
Height: 10"  
Weight (max): 12 lbs

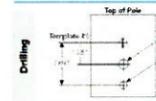
#### Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing 100-400W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

#### Ordering Information

EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT 5PA DDBXK

Series	LED	Power (W)	Temp (K)	Beam (deg)	Mounting	Control	Options	Notes
DSX1	LED	1000	40K	30	Top	None	None	



**Accessories**

- DSX1-ACC-1: Pole Mounting Slipfitter
- DSX1-ACC-2: Pole Mounting Slipfitter



### D-Series Size 1 LED Wall Luminaire



#### Specifications

Width: 13-3/4"  
Depth: 10"  
Height: 6-3/8"  
Weight: 12 lbs

#### Back Box (BBW, ELCW)

Width: 13-3/4"  
Depth: 4"  
Height: 6-3/8"  
Weight: 10 lbs

#### Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

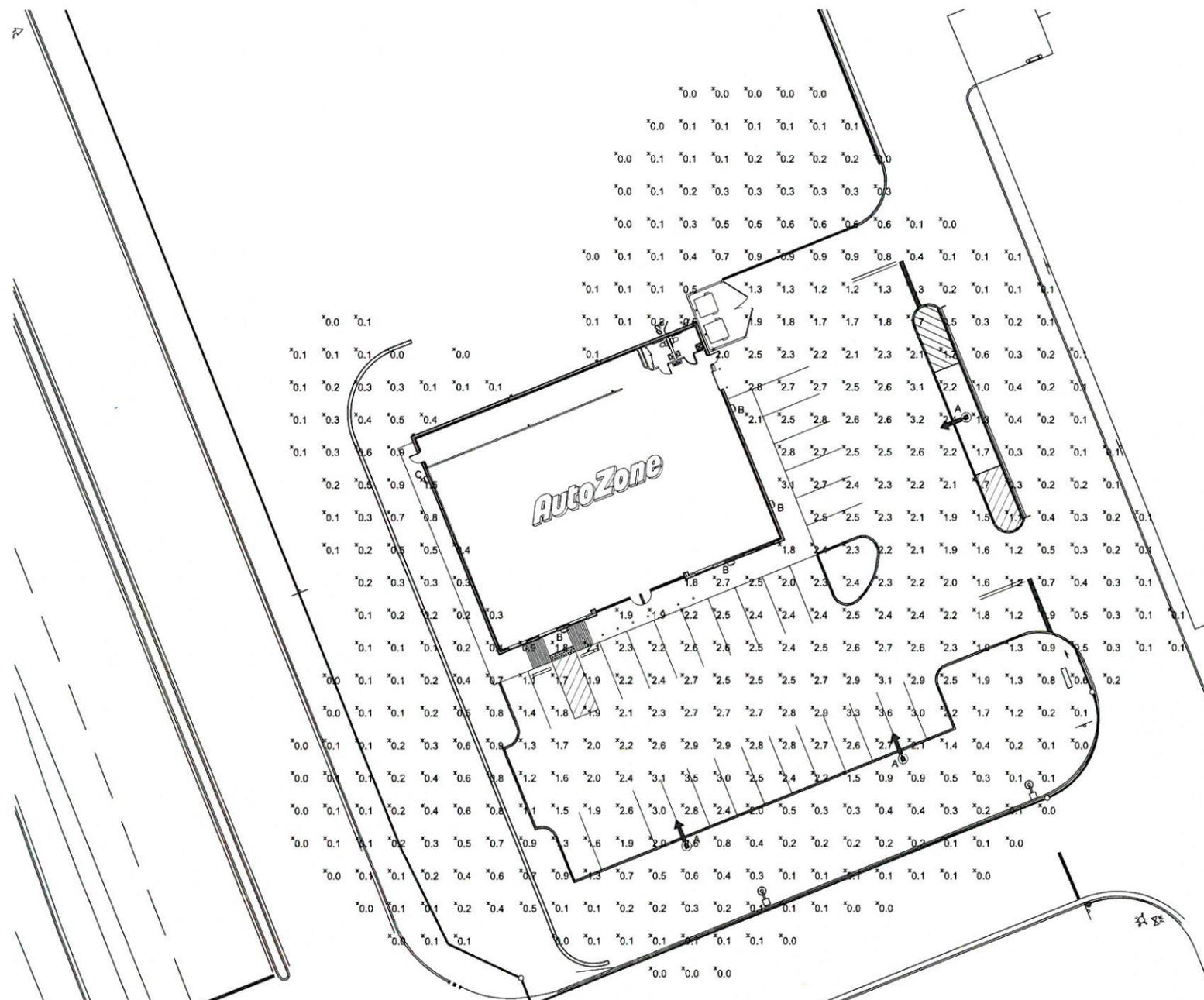
#### Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTKD

Series	LED	Power (W)	Temp (K)	Beam (deg)	Mounting	Control	Options	Notes
DSXW1	LED	1000	40K	30	Wall	None	None	

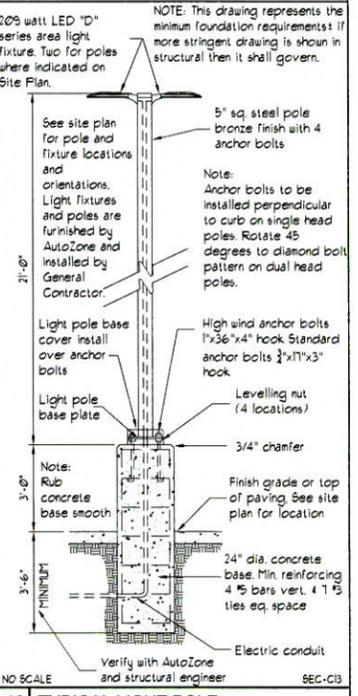
#### Accessories

DSXW1-ACC-1: Pole Mounting Slipfitter



Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Stat Zone # 1	X	1.0 fc	3.6 fc	0.0 fc	N/A	N/A

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
A	1-DSX1 LED 60C 1000 40K T4M MVOLT House Wait	3	DSX1_LED_60_C_1000_40K_T4M_MVOLT_H	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K @ 1050MA WITH HOUSE SIDE SHIELD	LED	DSX1_LED_60_C_1000_40K_T4M_MVOLT_H	Absolute	0.95	209
B	WallPack DSXW1 LED 10C 1000 40K T3M MVOLT	4	DSXW1_LED_10C_1000_40K_T3M_MVOLT	DSXW1 LED WITH 1 LIGHT ENGINE, 10 LEDs, 1000MA DRIVER, 4000K LED, TYPE 3 MEDIUM OPTIC	LED	DSXW1_LED_10C_1000_40K_T3M_MVOLT	Absolute	0.95	40
C	DSXW1 LED 10C 530 40K T3M MVOLT 20 Watt	1	DSXW1_LED_10C_530_40K_T3M_MVOLT_1	DSXW1 LED WITH 1 LIGHT ENGINE, 10 LEDs, 530MA DRIVER, 4000K LED, TYPE 3 MEDIUM OPTIC	LED	DSXW1_LED_10C_530_40K_T3M_MVOLT_1	Absolute	0.95	20



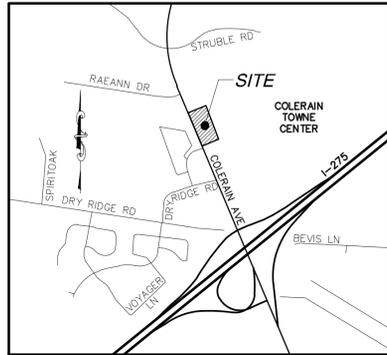
OWNER: **AutoZone, Inc.**  
123 S. FRONT STREET, 3RD FLOOR  
MEMPHIS, TENNESSEE 38103

Prepared for: **AutoZone Store Development**  
AutoZone #4959  
Store No.: Cincinnati, OH 45251

ARCHITECT: L.E.  
DRAFTSMAN: C.H.  
CHECKED BY:

DATE: 06/07/18  
PROTOTYPE SIZE: 65W2-R

**PH1.0**



Location Map  
SCALE: N.T.S.



# Site Development Plans Approval Application

Proposed

## AutoZone Store #4959 10164 Colerain Avenue Colerain Township, Hamilton County, Ohio 45251

Contents:	
C0.0	COVER SHEET
1 OF 3	ALTA SURVEY / EXISTING CONDITIONS
2 OF 3	ALTA SURVEY / EXISTING CONDITIONS
3 OF 3	ALTA SURVEY / EXISTING CONDITIONS
D1.0	SITE DEMOLITION PLAN
C1.0	SITE PLAN
C1.A	SITE DETAILS
C1.1	GRADING PLAN
C1.2	DRAINAGE PLAN
C1.3	SITE UTILITIES PLAN
C1.4	EROSION PREVENTION & SEDIMENT CONTROL PLAN
C1.5	CONSTRUCTION NOTES AND LEGEND
C1.6	DETAILS
PH1.0	PHOTOMETRIC PLAN
L1.0	LANDSCAPE PLAN

Applicant / Developer:

**AutoZone, Inc.**  
123 S. Front Street, 3rd Floor  
Memphis, Tennessee 38103

Property Owner:

**RNS Properties, LLC**  
8044 Montgomery, Suite 300  
Cincinnati, Ohio 45236

Architect:

**AutoZone, Inc.**  
c/o: Lew Ellis  
123 S. Front Street, 3rd Floor  
Memphis, Tennessee 38103

Civil Engineer:

**Prism Engineering & Design Group, LLC**  
c/o: Jason L. Hall, PE  
2309 Watterson Trail, Suite 200  
Louisville, Kentucky 40299  
(502) 491-8891 Ext. 1

Date:  
May 8, 2018

**UTILITY CONTACT INFORMATION**

**ELECTRIC**  
DUKE ENERGY  
(800) 544-6900  
CUSTOMER SERVICE  
MITCH EBERENZ  
(513) 419-1349

**WATER**  
GREATER CINCINNATI WATER WORKS  
4747 SPRING GROVE AVE.  
CINCINNATI, OH 45232  
(513) 591-7858  
BILL MORRIS  
BILL.MORRIS@GCWW.CINCINNATI-OH.GOV  
**TELEPHONE**  
CINCINNATI BELL TELEPHONE  
221 E. 4TH ST.  
BUILDING 121-900  
CINCINNATI, OH 45202  
(513) 566-4159  
CARLOS OSORES

**NATURAL GAS**  
DUKE ENERGY  
(800) 544-6900  
CUSTOMER SERVICE  
BRAD STEINMETZ  
(513) 287-1464

**SANITARY SEWER**  
METROPOLITAN SEWER DISTRICT  
OF  
GREATER CINCINNATI  
225 W. GALBRAITH RD.  
CINCINNATI, OH 45202  
(513) 591-6841  
STEVEN PARKER  
STEVEN.PARKER@CINCINNATI-OH.GOV  
**STORM WATER**  
METROPOLITAN SEWER DISTRICT  
OF  
GREATER CINCINNATI  
1600 GEST STREET  
CINCINNATI, OH 45202  
(513) 244-3914  
RAY SCHORK  
RAY.SCHORK@CINCINNATI-OH.GOV

**CABLE TELEVISION**  
TIME WARNER CABLE INC.  
WESTBOURNE DR.  
CINCINNATI, OH 45248  
(513) 469-1112  
CUSTOMER SERVICE

**CITY PLANNING**  
CITY OF CINCINNATI  
PLANNING AND BUILDINGS  
BUSINESS DEVELOPMENT AND  
PERMIT CENTER  
3300 CENTRAL PARKWAY  
CINCINNATI, OH 45225  
(513) 352-4847  
RODNEY RINGER  
RODNEY.RINGER@CINCINNATI-OH.GOV

Owner / Developer:  
**AutoZone Inc.**  
123 South Front Street, 3rd Floor  
Memphis, Tennessee 38103  
Tel: (901) 495-6736 Fax: (901) 495-8969  
For Bidding & Contractor Information Contact:  
F.W. Dodge Plan Room Tel: (615) 884-1017



Prepared for: **AutoZone Store Development**  
Store No.: 4959  
10164 COLERAIN AVENUE  
COLERAIN TOWNSHIP, OHIO 45251  
**COVER SHEET**

**REVISIONS**

1.
2.
3.
4.
5.
6.
7.

ARCHITECT:

DRAFTSMAN: RTG

CHECKED BY: PRG

DATE  
5-8-18  
PROTOTYPE SIZE  
65W2 RIGHT

**C0.0**

# ALTA/NSPS LAND TITLE SURVEY

Prepared for:

## AutoZone Store# 4959 Colerain Avenue Township of Colerain, County of Hamilton State of Ohio

### GENERAL NOTES

- Bearings shown hereon are based upon the bearings shown on the Record Plat of Colerain Towne Centre as recorded in Plat Book 293, pages 61 & 62 of the Plat Records of Hamilton County, Ohio.
- The underground utilities shown on this survey have been located from field survey information, markings provided by the utility companies and existing drawings obtained from utility companies. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are located as accurately as possible from available information.
- There was no observed evidence of current earth moving work, building construction or building additions.
- The surveyor knows of no known recent or proposed changes in street right-of-way lines, street or sidewalk construction or repairs.
- There is no observed evidence of this site being used as a solid waste dump, sump, or sanitary landfill.
- There are no delineated wetland areas located on the subject premises.
- Iron pins with cap set are 5/8" rebar, 30" in length with a yellow plastic I.D. cap that bears the inscription "MDM 724-934-2810".
- Contour Interval = 1'. Elevations shown hereon are based on GPS observations taken March 6-8, 2018 using VRS of ODOT's VRS RTK Network. These elevations are to the North American Vertical Datum of 1988 (NAVD88) (Geoid 12a).

### ZONING INFORMATION

Zoning District - PD-B (Business Planned Development)  
Retail Commercial Uses are a permitted use within this zoning district.  
This item will be address upon receipt of the zoning verification letter.  
There are no striped parking spaces located at this site.



SITE LOCATION MAP  
SCALE: 1"=2000'

### LEGEND OF SYMBOLS

Contour Line	--- 895 ---	Water Line	W W W W	Gas Line	G G G G	Overhead Electric, Telephone & Cable Line	E/T/C	Overhead Electric Line	E E E E	Underground Telephone Line	UT UT UT	Storm Sewer	-----	Sanitary Sewer	-----	Easements	-----	Setback Line	-----	Depressed Curb	-----	Guard Rail	-----	Signal Poles	-----	Street Light	☐	Benchmark	⊕	Turn Arrows	↔	Traffic Flow Arrow	→	Storm Inlet	⊕	Light Pole	⊕	Truncated Domes	⊕	Gas Meter	⊕	Iron Pin Found	⊕	Iron pin w/cap set (unless otherwise noted)	⊕	Storm Manhole	⊕	Gas Valve	⊕	Sanitary Manhole	⊕	Water Valve	⊕	Telephone Manhole	⊕	Fire Hydrant	⊕	Utility Pole	⊕	Guy Wire	⊕	Cross Walk Pole	⊕	Traffic Box	⊕	Sign	⊕	Spot Elevation	89.22	Right-of-Way	R/W	High Density Polyethylene	HDPE	Polyvinyl Chloride	PVC	Existing Curb Elevations:	TC=Top of Curb FC=Bottom of Curb	Asphalt	⊕	Concrete	⊕
--------------	-------------	------------	---------	----------	---------	---	-------	------------------------	---------	----------------------------	----------	-------------	-------	----------------	-------	-----------	-------	--------------	-------	----------------	-------	------------	-------	--------------	-------	--------------	---	-----------	---	-------------	---	--------------------	---	-------------	---	------------	---	-----------------	---	-----------	---	----------------	---	---	---	---------------	---	-----------	---	------------------	---	-------------	---	-------------------	---	--------------	---	--------------	---	----------	---	-----------------	---	-------------	---	------	---	----------------	-------	--------------	-----	---------------------------	------	--------------------	-----	---------------------------	-------------------------------------	---------	---	----------	---

### STATEMENT OF ENCROACHMENTS

There are no encroachments visible as a result of this ALTA/NSPS Land Title Survey.

### AS-SURVEYED LEGAL DESCRIPTION

ALL THAT CERTAIN tract or parcel of land situate in Sections 10 and 16, Town 2, Entire Range 1, Colerain Township, Miami Purchase, County of Hamilton and State of Ohio, being a portion Lot 4 of the Record Plat of Colerain Towne Centre as recorded in Plat Book 293, Pages 60 & 61 of the Plat Records of Hamilton County, Ohio and being more particularly bounded and described as follows:

BEGINNING at a mag nail set at the southwest corner of the herein described parcel on the easterly right-of-way line of Colerain Avenue (a.k.a. U.S. Route 27, variable right-of-way width) at the dividing line between Lot 4 and Lot 1 of the aforesaid Record Plat of Colerain Towne Centre, also known as U.S. Route 27;

THENCE from said POINT OF BEGINNING, following the easterly right-of-way line of Colerain Avenue, which is also the westerly line of Lot 4, for the following seven (7) courses and distances:

- N 25°54'20" W, a distance of 8.92 feet to an iron pin w/cap set;
- N 68°39'55" W, a distance of 24.63 feet to an iron pin w/cap set;
- N 29°55'50" W, a distance of 32.53 feet to an iron pin w/cap set;
- N 25°54'20" W, a distance of 300.47 feet to an iron pin w/cap set;
- N 13°48'39" W, a distance of 14.32 feet to an iron pin w/cap set;
- N 06°05'59" E, a distance of 9.43 feet to an iron pin w/cap set;
- N 25°54'20" W, a distance of 18.08 feet to a mag nail set at the dividing line between Lot 1 and Lot 4 of the aforesaid Record Plat of Colerain Towne Centre;

THENCE following the dividing line between Lot 1 and Lot 4 for the following four (4) courses and distances:

- N 64°05'40" E, a distance of 207.24 feet to a mag nail set;
- S 25°54'20" E a distance of 375.00 feet to an iron pin w/cap set;
- By the arc of a circle curving to the right having a radius of 25.00 feet, an arc length of 39.27 feet and a chord that bears S 19°05'40" W for a distance of 35.36 feet to a mag nail set;
- S 64°05'40" W, a distance of 171.23 feet to the POINT OF BEGINNING.

CONTAINING within said bounds a total of 1.959 Acres or 85,353.24 square feet of land.

BEING Tax Parcel ID: 510-0114-0106-00.

### OH OUPS INFORMATION

Serial Number: A806001950 (Design) A806001943 (Dig)  
Date of Inquiry: 03-01-2018  
How Contacted: On-line

Company Name	Response			
	All Clear	Has Facilities	Field Markings	No Response
CINCINNATI BELL (USIC)	X			
CINCINNATI SEWER-CITY OF	X			
CINCINNATI WATER-NORTH-CITY OF	X			
DUKE ENERGY ELECTRIC/USIC	X			
DUKE ENERGY GAS/USIC	X			
ODOT B TRAFFIC (DISTRICT B)	X			
SOUTHWESTERN OHIO WATER	X			
CHARTIER COMM (SPECTRUM/TIME WARNER)/USIC	X			

### SURVEYOR'S CERTIFICATION

AutoZone Store# 4959  
Colerain Avenue

Township of Colerain, County of Hamilton  
State of Ohio

Certified To: AutoZone Development, LLC &  
First American Title Insurance Company

The undersigned certifies that to the best of his professional knowledge, information and belief, this map or plat and the survey on which it is based was made on the date shown below and was made (i) in accordance with "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys" jointly established and adopted by ALTA and NSPS in 2016; (ii) in accordance with the "Boundary and Topographical Survey Requirements" for AutoZone Development, LLC, and includes Items 1, 3, 4, 5, 7a), 7b), 8, 9, 11, 13 and 16-21 of Table A as specifically defined therein, and (iii) pursuant to the Accuracy Standards (as adopted by ALTA and NSPS and in effect on the date of this certification) of an urban survey.

*Howard G. McIlvried*  
Howard G. McIlvried  
Registered Land Surveyor No. S-8015  
In the State of Ohio  
Date of Field Survey: March 6-8, 2018  
Date of Last Revision: March 15, 2018  
Project No. 7587

### UTILITY SERVICE INFORMATION

**Water Service**  
Cincinnati Water Works  
4747 Spring Grove Ave.  
Cincinnati, OH 45204  
(513) 591-7859  
Engineering Department

**Gas Service**  
Duke Energy Gas  
424 Gest St.  
Cincinnati, OH 45203  
(800) 544-6900  
Customer Service

**Sanitary Sewer**  
Metropolitan Sewer District  
1035 Woodrow St.  
Cincinnati, OH 45204  
(513) 244-1398  
Engineering Department

**Storm Sewer**  
Stormwater Management Unit  
4747 Spring Grove Ave.  
Cincinnati, OH 45204  
(513) 591-7746  
Engineering Department

**Telephone/Cable Service**  
www.cincinnati-bell.com  
www.spectrum.com

### FLOOD ZONE NOTE

By graphic plotting only this site is located in Zone X of the Flood Insurance Rate Map No. 39061C0065E, Community No. 390204, Panel No. 0065 & Suffix E, bearing an effective date of February 17, 2010 and is not in a special flood hazard area.

REV. NO.	DATE	DESCRIPTION
1	3/15/18	ORIGINAL SUBMITTAL

**MDM**  
McILVRIED, DIDIANO, & MOX, LLC  
Site Planners, Engineers, Surveyors  
9851 Kich Drive  
Pittsburgh, PA 15237  
Ph.: (724) 934-2810 Fax: (724) 934-2811  
mdmllc.com www.mdmllc.com

AutoZone Store# 4959  
Colerain Avenue  
Township of Colerain, County of Hamilton  
State of Ohio  
ALTA/NSPS LAND TITLE SURVEY



SCALE:	N/A
DATE:	3/15/18
DRAWN BY:	IMS
CHECKED BY:	HGM

TITLE LEGAL DESCRIPTION

Per First American Title Insurance Company Title Commitment No. NCS-878855-MCH bearing the effective date of November 23, 2017:

Situated in the Township of Colerain, County of Hamilton, State of Ohio, described as follows:

Situate in Sections 10 and 16, Town 2, Entire Range 1, Colerain Township, Hamilton County, Ohio, and being more particularly described as entire Lot 4 of the Colerain Towne Centre Subdivision as recorded in Plat Book 293, Pages 60 and 61 of the Plat Records of Hamilton County, Ohio,

Excepting therefrom that portion of the land conveyed by deed recorded in Volume 9154, Page 3854 of Hamilton County Records and further described as follows:

Situate in Section 10, Town 2, Entire Range 1, Colerain Township, Miami Purchase, Hamilton County, State of Ohio, being more particularly described as follows:

Being part of Lot 4 of the Colerain Towne Centre Subdivision.

Being a parcel of land lying on the right side of a survey centerline made by the Ohio Department of Transportation as recorded in Plat Book 293, Pages 60 and 61 of the records of Hamilton County Recorder's office; Commencing at a point being the intersection of the Colerain Avenue centerline with the centerline of Relocated Dry Ridge Road;

Thence with the centerline of Colerain Avenue, North 21'48'15" West a distance of 136.605 meters (448.18 feet) to a point;

Thence North 68°11'45" East a distance of 18.339 meter (60.17 feet) to a point on the existing easterly right of way of US-27;

Thence with said line North 23°04'37" West a distance of 2.289 meters (7.51 feet) to a point;

Thence North 25°49'47" West a distance of 8.918 meters (29.26 feet) to the Point of Beginning;

Thence North 25°49'47" West a distance of 6.015 meters (19.74 feet) to a point;

Thence South 73°56'31" East a distance of 3.258 meters (10.69 feet) to a point;

Thence South 06°27'00" West a distance of 4.542 feet (14.90 feet) to the Point of Beginning.

Containing: Gross Take = 0.0007 hectares (0.002 acre) PRO = 0.0000 hectares (0.000 acre) Net Take = 0.0007 hectares (0.002 acre)

Of the above described tract, 0.0007 hectares (0.002 acre) are to be deleted from Auditor's Permanent Parcel Number 510-114-106, which includes 0.0000 hectares (0.000 acre) in the present road occupied.

This description was prepared and reviewed on 01 November 1999 by Daniel V. Leach, P.S., Registered Surveyor No. S-7260.

This description is based on a survey made under the direction and supervision of Daniel V. Leach, P.S., Registered Surveyor No. S-7260.

The basis of bearings is the Ohio State Plane Coordinate System (NAD 83) South Zone 3402.

Further excepting therefrom that portion of the land conveyed by deed recorded in Official Record 12545, Page 1570 and further described as follows:

Parcel 1

Situated in Section 10, Township 2, Range 1, Between the Miamis, Colerain Township, Hamilton County, Ohio and being more particularly described as follows:

Being a parcel of land lying on the right side of the centerline of survey of Colerain Avenue (U.S. 27), as referenced in ODOT Right of Way Plans HAM-27-14.15, PID 92555, made by Berding Surveying Inc. and recorded in Plat Book 439, Page 88 of the Hamilton County Recorder's Office and being located within the following described points in the boundary thereof.

Commencing at the centerline intersection of Dry Ridge Connector and Colerain Avenue (U.S. 27) at Station 736+27.66 of the existing centerline of Colerain Avenue (U.S. 27);

Thence with said centerline of Colerain Avenue (U.S. 27), South 21'48'15" East, 17.58 feet to a point at Station 736+10.08;

Thence leaving said centerline North 68°11'45" East, 60.28 feet to a point in the existing East right of way line of Colerain Avenue (U.S. 27) said point being 60.28 feet right of Station 736+10.08;

Thence with said existing right of way line, North 23°04'29" West, 7.52 feet to a point 60.11 feet right of Station 736+17.60 and North 25°49'39" West, 27.55 feet to a common corner of the Grantor and a tract of land conveyed to KIR Colerain 017, LLC by deed recorded in O.R. 8327, Pg. 2346 of the Hamilton County Recorder's Office and also identified as Parcel No. 510-0114-0103 of the Hamilton County Auditor's Office and being part of Lot 2 of Colerain Towne Center recorded in P.B. 293, Pg. 60-61 of the Hamilton County Recorder's Office, said point being 58.18 feet right of Station 736+45.08 and the Point of Beginning for the herein described 0.0046 Acre parcel;

Thence continuing with said existing right of way line the following four (4) courses:

- 1) North 25°49'39" West, 1.65 feet to point 58.07 feet right of Station 736+46.72;
2) North 06°26'59" East, 14.65 feet to point 73.00 feet right of Station 736+54.00;
3) North 73°56'31" West, 10.51 feet to a point 56.70 feet right of Station 736+66.08;
4) North 25°49'39" West, 6.02 feet to a set iron 56.28 feet right of Station 436+72.08;

Thence leaving said right of way line through the lands of the Grantor, South 64°33'50" East, 24.63 feet to a set iron pin 73.00 feet right of Station 736+54.00 and South 21'48'15" East, 8.92 feet to a set iron pin in the common line of the Grantor and the aforementioned KIR Colerain 017, LLC said point being 73.00 feet right of Station 736+45.08;

Thence along said common line, South 68°11'51" West, 14.82 feet to the Point of Beginning.

Containing 0.0046 Acres of ground and being subject to all legal easements of record.

Being part of those lands conveyed to RNS Properties, LLC by deed recorded in O.R. 8445, Pg. 1880 of the Hamilton County Recorder's Office and also identified as Parcel No. 510-0114-0106-00 of the Hamilton County Auditor's Office, being part of Lot 4 of Colerain Towne Centre Subdivision recorded in P.B. 293, Pg. 60-61 of the Hamilton County Recorder's Office.

TITLE LEGAL DESCRIPTION

All iron pins set are 5/8" x 30" rebar with aluminum cap stamped "ODOT R/W P.S. 6880".

This description is part of a survey made on the ground by Gerard J. Berding, P.S. of G. J. Berding Surveying, Inc. in May of 2012.

The bearings in this legal description are based upon Ohio State Plane Coordinate System, South Zone, NAD 83 (2007) utilizing NGS monuments 6945 (JZ3480) and 6949 (JZ3482).

Parcel 2

Situated in Section 16, Township 2, Range 1, Between the Miamis, Colerain Township, Hamilton County, Ohio and being more particularly described as follows:

Being a parcel of land lying on the right side of the centerline of survey of Colerain Avenue (U.S. 27), as referenced in ODOT Right of Way Plans HAM-27-14.15, PID 92555, made by Berding Surveying Inc. and recorded in Plat Book 439, Page 88 of the Hamilton County Recorder's Office and being located within the following described points in the boundary thereof.

Commencing at the centerline intersection of Dry Ridge Connector and Colerain Avenue (U.S. 27) at Station 736+27.66 of the existing centerline of Colerain Avenue (U.S. 27); Thence with said centerline of Colerain Avenue (U.S. 27), South 21'48'15" East, 17.58 feet to a point at Station 736+10.08;

Thence leaving said centerline North 68°11'45" East, 60.28 feet to a point in the existing East right of way line of Colerain Avenue (U.S. 27) 60.28 feet right of Station 736+10.08;

Thence with said existing right of way line, the following five (5) courses:

- 1) North 23°04'29" West, 7.52 feet to a point 60.11 feet right of Station 736+17.60;
2) North 25°49'39" West, 29.20 feet to a point 58.06 feet right of Station 736+46.72;
3) North 06°26'59" East, 14.65 feet to a point 65.00 feet right of Station 736+59.63;
4) North 73°56'31" West, 10.51 feet to a point 56.70 feet right of Station 736+66.08;
5) North 25°49'39" West, 38.53 feet to a set iron pin 54.00 feet right of Station 737+04.51 and the Point of Beginning for the herein described 0.0213 Acre parcel;

Thence continuing with said existing right of way line the following five (5) courses:

- 1) North 25°49'39" West, 26.83 feet to a point 52.12 feet right of Station 737+31.28;
2) North 21'48'09" West, 157.73 feet to a point 52.12 feet right of Station 738+89.01;
3) North 30°22'01" West, 13.43 feet to a point 50.12 feet right of Station 739+02.29;
4) North 20°36'55" West, 1.10 feet to a point 50.15 feet right of Station 739+03.39;
5) North 20°42'41" West, 141.72 feet to a point at a common corner of the Grantor herein and a tract of land conveyed to KIR Colerain 017, LLC by deed recorded in O.R. 8327, Pg. 2346 of the Hamilton County Recorder's Office and also identified as Parcel Number 510-0114-0103-00 of the Hamilton County Auditor's Office, being part of Lot 2 of Colerain Towne Centre Subdivision recorded in P.B. 293, Pg. 60-61 of the Hamilton County Recorder's Office, said point being 52.85 feet right of Station 740+45.08;

Thence with the common line of the Grantor herein and KIR Colerain 017, LLC and the proposed right of way line, North 68°11'51" East, 9.15 feet to a point 62.00 feet right of Station 740+45.08;

Thence leaving said common line through the lands of the Grantor along the proposed right of way line the following four (4) courses:

- 1) South 21'48'15" East, 18.08 feet to a point 62.00 feet right of Station 740+27.00;
2) South 10°12'04" West, 9.43 feet to a point 57.00 feet right of Station 740+19.00;
3) South 09°42'34" East, 14.32 feet to a point 54.00 feet right of Station 740+05.00;
4) South 21'48'15" East, 300.49 feet to the Point of Beginning. Containing 0.0213 Acres of ground and being subject to all legal easements of record.

Being part of those lands conveyed to RNS Properties, LLC by deed recorded in O.R. 8445, Pg. 1880 of the Hamilton County Recorder's Office and also identified as Parcel No. 10-0114-0106-00 of the Hamilton County Auditor's Office, being part of Lot 4 of Colerain Towne Centre Subdivision recorded in P.B. 293, Pg. 60-61 of the Hamilton County Recorder's Office.

All iron pins set are 5/8" x 30" rebar with aluminum cap stamped "ODOT R/W P.S. 6880".

This description is part of a survey made on the ground by Gerard J. Berding, P.S. of G. J. Berding Surveying, Inc. in May of 2012.

The bearings in this legal description are based upon Ohio State Plane Coordinate System, South Zone, NAD 83 (2007) utilizing NGS monuments 6945 (JZ3480) and 6949 (JZ3482).

SCHEDULE B - SECTION 2 ITEMS

Per First American Title Insurance Company Title Commitment No. NCS-878855-MCH bearing the effective date of November 23, 2017:

Matters disclosed by the plat recorded in Plat Books 280, Pages 3 through 9 of Hamilton County Records. THERE ARE NO ITEMS SHOWN ON THIS PLAT THAT AFFECT THE SUBJECT PREMISES.

Matters disclosed by the plat recorded in Plat Book 280, Page 34 of Hamilton County Records. THERE ARE NO ITEMS SHOWN ON THIS PLAT THAT AFFECT THE SUBJECT PREMISES.

Matters disclosed by the plat recorded in Plat Book 280, Page 41 of Hamilton County Records. THERE ARE NO ITEMS SHOWN ON THIS PLAT THAT AFFECT THE SUBJECT PREMISES.

Matters disclosed by the plat recorded in Plat Book 289, Page 41 of Hamilton County Records. THERE ARE NO ITEMS SHOWN ON THIS PLAT THAT AFFECT THE SUBJECT PREMISES.

Matters disclosed by the plat recorded in Plat Book 293, Page 60 of Hamilton County Records. THIS PLAT SHOWS A 15' DRIVE APPURT. & SLOPE RIGHT EASEMENT, 10' & 30' UTILITY EASEMENTS & A 20' SANITARY SEWER EASEMENT THAT AFFECT THE SUBJECT PREMISES AND ARE PLOTTED AND SHOWN HEREON.

Grant from Joseph W. Espel and Joan K. Espel to The Cincinnati Gas & Electric Company, its successors and assigns recorded in Deed Book 3189, Page 448 of Hamilton County Records. THIS ITEM DOES AFFECT THE SUBJECT PREMISES. IT REFERS TO AN ELECTRIC LINE AND ANCHORS LOCATED ON THE SUBJECT PREMISES THAT IS PLOTTED AND SHOWN HEREON.

Easement for Highway Purposes from Trustees of the Davis Cedar Grove Cemetery to State of Ohio recorded December 15, 1965 in Deed Book 3453, Page 706 and re-recorded in Official Record Book 5504, Page 852 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES.

Easement for Highway Purposes from Trustees Davis Evangelical United Lutheran Church to State of Ohio recorded December 16, 1965 in Deed Book 3454, Page 135 and re-recorded in Official Record Book 5504, Page 855 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES.

Easement for Highway Purposes from Leo H. Espel and Ruth Espel, husband and wife to State of Ohio recorded in Book 3455, Page 312 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES.

Easement for Highway Purposes from Mary Josephine Espel, widow, not remarried to State of Ohio recorded in Book 3455, Page 315 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES.

Easement for Highway Purposes from Joseph W. Espel and Joan K. Espel (husband and wife) to State of Ohio recorded in Book 3455, Page 319 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES.

Grant from Joseph W. Espel and Joan K. Espel to The Cincinnati Gas & Electric Company, its successors and assigns recorded March 28, 1969 in Book 3665, Page 179 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES.

Easements contained in Judgment Entry on Settlement recorded in Book 3999, Page 503 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES.

Easement and limitation of access contained in the Journal Entry recorded in Deed Book 4054, Page 93 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES.

Easement recorded in Volume 4178, Page 425 of Hamilton County Records. Assignment of Sanitary Sewer Easement recorded in Official Record Book 5622, Page 547 of Hamilton County Records. Amended and Restated Grant of Easement recorded in Official Record Book 5033, Page 1707 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES.

Declaration of Restrictions recorded in Official Record Book 5146, Page 434 and re-recorded in Official Record Book 5504, Page 1060 of Hamilton County Records. THIS ITEM AFFECTS THE SUBJECT PREMISES BY PLACING HEIGHT RESTRICTIONS, FLOOR AREA RESTRICTIONS, USE RESTRICTIONS AND PARKING RESTRICTIONS ON THE SUBJECT PREMISES. CONTAINS NO PLOTTABLE ITEMS.

Warranty Deed and Declaration of Easements, Covenants and Restrictions recorded in Official Record Book 5146, Page 476 and re-recorded in Book 5504, Page 1075 of Hamilton County Records. Supplement No. 1 recorded in OR Book 6148, Page 1298 of Hamilton County Records. THIS ITEM DESCRIBES A SERVICE DRIVEWAY AND A TOWNE CENTRE ROADWAY APPURTENANT TO THE SUBJECT PREMISES. THE SUBJECT PREMISES IS ALLOWED USE OF THE SERVICE DRIVEWAY AND THE TOWNE CENTRE ROADWAY. THESE ARE PLOTTED AND SHOWN HEREON.

Declaration of Restrictions recorded in Official Record Book 5313, Page 1600 and re-recorded in Book 5504, Page 1134 of Hamilton County Records. THIS ITEM AFFECTS THE SUBJECT PREMISES BY PLACING HEIGHT RESTRICTIONS, FLOOR AREA RESTRICTIONS, USE RESTRICTIONS AND PARKING RESTRICTIONS ON THE SUBJECT PREMISES. CONTAINS NO PLOTTABLE ITEMS.

Resolution #815 recorded in Official Record Book 5203, Page 623 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES.

Agreement of Restrictions and Covenants (North Parcel) recorded in Official Record Book 5313, Page 1618 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES.

Agreement of Restrictions and Covenants (Shopping Center Parcels) recorded in Official Record Book 5313, Page 1631 and re-recorded in Book 5504, Page 1158 of Hamilton County Records. THIS ITEM DOES AFFECT THE SUBJECT PREMISES BY PUTTING USE RESTRICTIONS ON THE SUBJECT PREMISES. CONTAINS NO PLOTTABLE ITEMS.

Resolution #815 recorded in Official Record Book 5847, Page 176 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES.

Resolution #815 recorded in Official Record Book 6030, Page 7460 of Hamilton County Records. Declaration of Restrictive Covenants recorded in Official Record Book 6148, Page 1315 of Hamilton County Records. THIS ITEM DOES AFFECT THE SUBJECT PREMISES HOWEVER THERE ARE NO PLOTTABLE ITEMS.

Resolution #815 recorded in Official Record Book 6191, Page 358 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES.

Easement, Option, and Restriction Agreement recorded in Official Record Book 6515, Page 161 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES.

SCHEDULE B - SECTION 2 ITEMS

Storm Water Drainage Easement Agreement recorded in Official Record Book 6541, Page 857 of Hamilton County Records. THIS ITEM CONTAINS A 10' STORM SEWER EASEMENT APPURTENANT TO THE SUBJECT PREMISES THAT IS PLOTTED AND SHOWN HEREON.

Easement and Restriction Agreement recorded in Official Record Book 8445, Page 1866 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES.

Temporary Right of Way Easement from RNS Properties, LLC to The State of Ohio for the use and benefit of the Department of Transportation recorded January 28, 2003 in Official Record Book 9154, Page 3860 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES. THE RIGHT-OF-WAY EASEMENT HAS EXPIRED.

Temporary Right of Way Easement from RNS Properties, LLC to The State of Ohio for the use and benefit of the Department of Transportation recorded January 28, 2003 in Official Record Book 9154, Page 3857 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES. THE RIGHT-OF-WAY EASEMENT HAS EXPIRED.

Temporary Easement from RNS Properties, LLC to The State of Ohio for the use and benefit of the Department of Transportation recorded February 28, 2014 in Official Record Book 12545, Page 1582 of Hamilton County Records. THIS ITEM DOES NOT AFFECT THE SUBJECT PREMISES. THE RIGHT-OF-WAY EASEMENT HAS EXPIRED.

LEGEND OF SYMBOLS

Table with 2 columns: Symbol and Description. Includes symbols for Contour Line (895), Water Line, Gas Line, Overhead Electric, Telephone & Cable Line, Overhead Electric Line, Underground Telephone Line, Storm Sewer, Sanitary Sewer, Easements, Setback Line, Depressed Curb, Guard Rail, Signal Poles, Street Light, Turn Arrows, Storm Inlet, Truncated Domes, Iron Pin Found, Storm Manhole, Sanitary Manhole, Telephone Manhole, Utility Pole, Cross Walk Pole, Sign, Right-of-Way, High Density Polyethylene, Polyvinyl Chloride, Existing Curb Elevations, Asphalt, and Concrete.

Table with 3 columns: No., Date, Description. Row 1: 1, 3/15/18, ORIGINAL SUBMITTAL.

McIlvried, Didianno, & Mox, LLC. Site Planners, Engineers, Surveyors. 9845 Kirtland Drive, Pittsburgh, PA 15237. Ph: (724) 934-2810 Fax: (724) 934-2811. www.mdmllc.com

AutoZone Store# 4959 Colerain Avenue Township of Colerain, County of Hamilton State of Ohio ALTA/NSPS LAND TITLE SURVEY

STATE OF OHIO HOWARD G. McILVRIED REGISTERED PROFESSIONAL SURVEYOR

Table with 2 columns: Field and Value. SCALE: N/A, DATE: 3/15/18, DRAWN BY: IMS, CHECKED BY: HGM.



**KEYNOTES**

- 1 CONCRETE CURB - SEE DETAILS 1 & 2/C1.A
- 2 CONCRETE PAVING - SEE DETAIL 4/C1.A. EXPANSION AND CONTROL JOINTS - SEE DETAILS 21 & 22/C1.A. MAXIMUM SPACING FOR CONTROL JOINTS IS 15'-0" O.C. EACH WAY
- 3 ASPHALT PAVING - SEE DETAIL 5/C1.A. G.C. TO PROVIDE ALTERNATE BID FOR CONCRETE PAVING
- 4 HANDICAP PARKING AREA - SEE DETAILS 6 & 7/C1.A
- 5 HANDICAP PARKING SIGN - SEE DETAIL 12/C1.A
- 6 PIPE GUARD - SEE DETAILS 14, 15 & 16/C1.A
- 7 CONCRETE LIGHT POLE BASE - SEE DETAIL 13/C1.A. LOCATE 3'-0" FROM BACK OF CURB OR SIDEWALK TO CENTER OF BASE. AIM LIGHT FIXTURE IN DIRECTION AS INDICATED
- 8 CONCRETE SIDEWALK - SEE DETAIL 19, 20 & 24/C1.A. FOR SIDEWALKS AROUND BUILDING
- 9 DUMPSTER LAYOUT - 6' HIGH WOOD ENCLOSURE W/ GATE - SEE DETAILS 8, 9, 10 & 11/C1.A
- 10 6'-0" LONG CONCRETE WHEEL STOP, PINNED TO PAVEMENT - SEE DETAIL 17/C1.A. LOCATE 2'-6" FROM FACE OF CURB OR SIDEWALK
- 11 SEGMENTED BLOCK RETAINING WALL
- 12 4" WIDE PARKING STRIPE PAINTED WHITE (TYP.)
- 13 4" WIDE DIAGONAL STRIPES PAINTED WHITE AT 2 FT. O.C. - SEE DETAIL 6/C1.A
- 14 CONCRETE HANDICAP RAMP - MAXIMUM SLOPE 1:12 (8.33%) (PER A.D.A. REQUIREMENTS). MAXIMUM CROSS SLOPE 1:50 (2.00%). PROVIDE DETECTABLE WARNINGS
- 15 NEW LANDSCAPE AREA - SEE SHEET L1.0 FOR ADDITIONAL INFORMATION
- 16 PROPOSED SIGN - UNDER SEPARATE SUBMITTAL
- 17 DOWNSPOUTS TO DISCHARGE TO SPLASH BLOCKS - SEE DETAIL 18/C1.A
- 18 SODDED "V" DITCH
- 19 TRANSITION FROM EXISTING CURB AND GUTTER TO TYPICAL ROLL OVER CURB DETAIL 1/C1.A.
- 20 GAS METER WITH (2) PIPE GUARDS
- 21 FREEZELESS YARD HYDRANT - SEE MEP PLANS
- 22 SERVICE DOOR
- 23 HEAVY DUTY CONCRETE PAVEMENT - SEE DETAIL 4/C1.A

**PAVEMENT LEGEND**

- HEAVY DUTY CONCRETE PAVING - SEE DETAIL 4/C1.A
- STANDARD DUTY CONCRETE PAVING - SEE DETAIL 4/C1.A

**SIGN LEGEND**

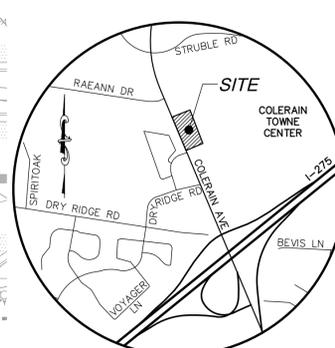
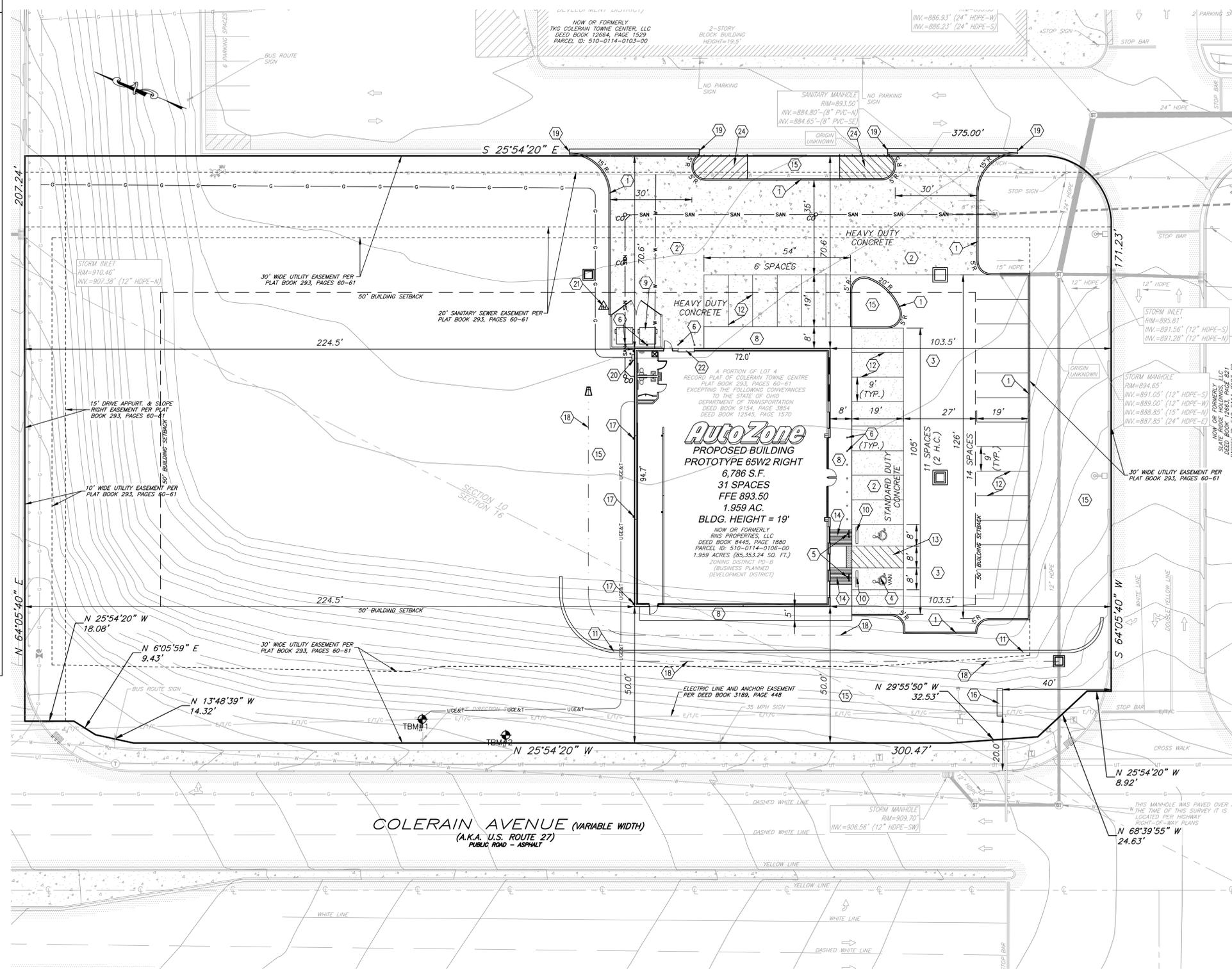
LEGEND	QTY.
	2
	1

**UTILITY NOTE**

LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED UPON AN ALTA/ACSM LAND TITLE SURVEY PREPARED BY MCLIVRIED, DIDIANO, AND MOX, LLC. NEITHER THE ENGINEER NOR HIS REPRESENTATIVES HAVE VERIFIED OR OBSERVED THE ACTUAL INSTALLATION OF THE UTILITIES SHOWN. EXACT LOCATIONS OF EXISTING INDIVIDUAL SERVICE LINES ARE NOT KNOWN.

**UTILITY PROTECTION NOTE**

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE OHIO UTILITIES PROTECTION SERVICE "OHIO 811" (TOLL-FREE PHONE NO. 1-800-362-2764, 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATION OF EXISTING BELOW GROUND UTILITIES (I.E.: CABLES, ELECTRICAL WIRES, TELEPHONE LINES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.



**LOCATION MAP**  
NO SCALE

EXISTING SITE AREA = 1.959 AC.  
EXISTING IMPERVIOUS = 0 AC.  
PROPOSED IMPERVIOUS = 0.561 AC.  
PERCENT IMPERVIOUS = 29%

**LEGEND**

SEE SHEET C1.5 FOR LEGEND FOR PROPOSED CONSTRUCTION AND ALTA SURVEY SHEET 1 OF 3 FOR LEGEND OF EXISTING CONDITIONS.

**GENERAL NOTES**

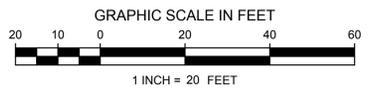
1. PROPERTY LINE AND RIGHT-OF-WAY MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTOR'S EXPENSE BY A REGISTERED LAND SURVEYOR.
2. PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY AUTOZONE INC. OF ANY UNACCEPTABLE AREAS.
3. BUILDING DIMENSIONS SHOWN ON THE CIVIL ENGINEERING PLANS ARE FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL USE THE ARCHITECTURAL AND STRUCTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED.
5. ALL SIDEWALKS, CURB AND GUTTER, STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMPS, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
6. ALL DISTURBANCE INCURRED TO ANY ADJOINING PROPERTY DUE TO CONSTRUCTION OR DEMOLITION SHALL BE RESTORED TO THE PREVIOUS CONDITION OR BETTER, AND TO THE SATISFACTION OF THE CITY OR STATE AUTHORITY.
7. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO AUTOZONE INC. AT THE END OF CONSTRUCTION.

**TBM INFORMATION**

- TBM#1 - BENCH TIE SET IN POWER POLE ELEVATION: 916.99'
- TBM#2 - TOP OF IRON PIN W/CAP ELEVATION: 915.54'

**FLOOD NOTE**

BY GRAPHIC PLOTTING ONLY THIS SITE IS LOCATED IN THE ZONE X OF THE FLOOD INSURANCE RATE MAP, 39061C065E, COMMUNITY NO. 390204, PANEL NO. 0065, SUFFIX E, EFFECTIVE DATE OF FEBRUARY 17, 2010 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



PARKING INFORMATION		
ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	- -	6,786 S.F.
PARKING REQUIRED MINIMUM:	4 SPACES PER 1,000 S.F. OF FLOOR AREA = 27 SPACES	31 SPACES (2 H.C.)
MIN. PARKING DIM.	171 S.F.	9 FT. X 19 FT.
MIN. DRIVEWAY WIDTH	- -	27 FT.
ACCESSIBLE SPACES	2 SPACES	2 SPACES
LOADING SPACE	- -	1 SPACE

REFERENCE IS MADE TO THE COLERAIN TOWNSHIP ZONING RESOLUTION OF COLERAIN TOWNSHIP, OH

BULK AREA REQUIREMENTS		
LOCATION: COLERAIN AVENUE, COLERAIN TOWNSHIP, OHIO 45251		
ZONE: PD-B (PLANNED DEVELOPMENT-BUSINESS)		
USE: RETAIL SALE OF AUTO PARTS		
ITEM	REQUIREMENTS	PROVIDED
MINIMUM LOT AREA	1 ACRE	1.959 ACRE
MINIMUM LOT FRONTAGE	75 FT.	215 FT.
MINIMUM FRONT SETBACK (BUILDING)	50 FT.	50 FT.
MINIMUM SIDE SETBACK (BUILDING)	NONE	70.6 FT.
MINIMUM REAR SETBACK (BUILDING)	NONE	224.5 FT.
MAXIMUM BUILDING HEIGHT	45 FT.	XX FT.

REFERENCE IS MADE TO THE COLERAIN TOWNSHIP ZONING RESOLUTION OF COLERAIN TOWNSHIP, OH



**PRISM ENGINEERING & DESIGN GROUP, LLC**  
2309 WATKINSON TRAIL, SUITE 200  
LOUISVILLE, KENTUCKY 40299  
OFFICE (502) 491-8891  
FAX (502) 491-8898  
WWW.THEPRISMDSIGNGROUP.COM

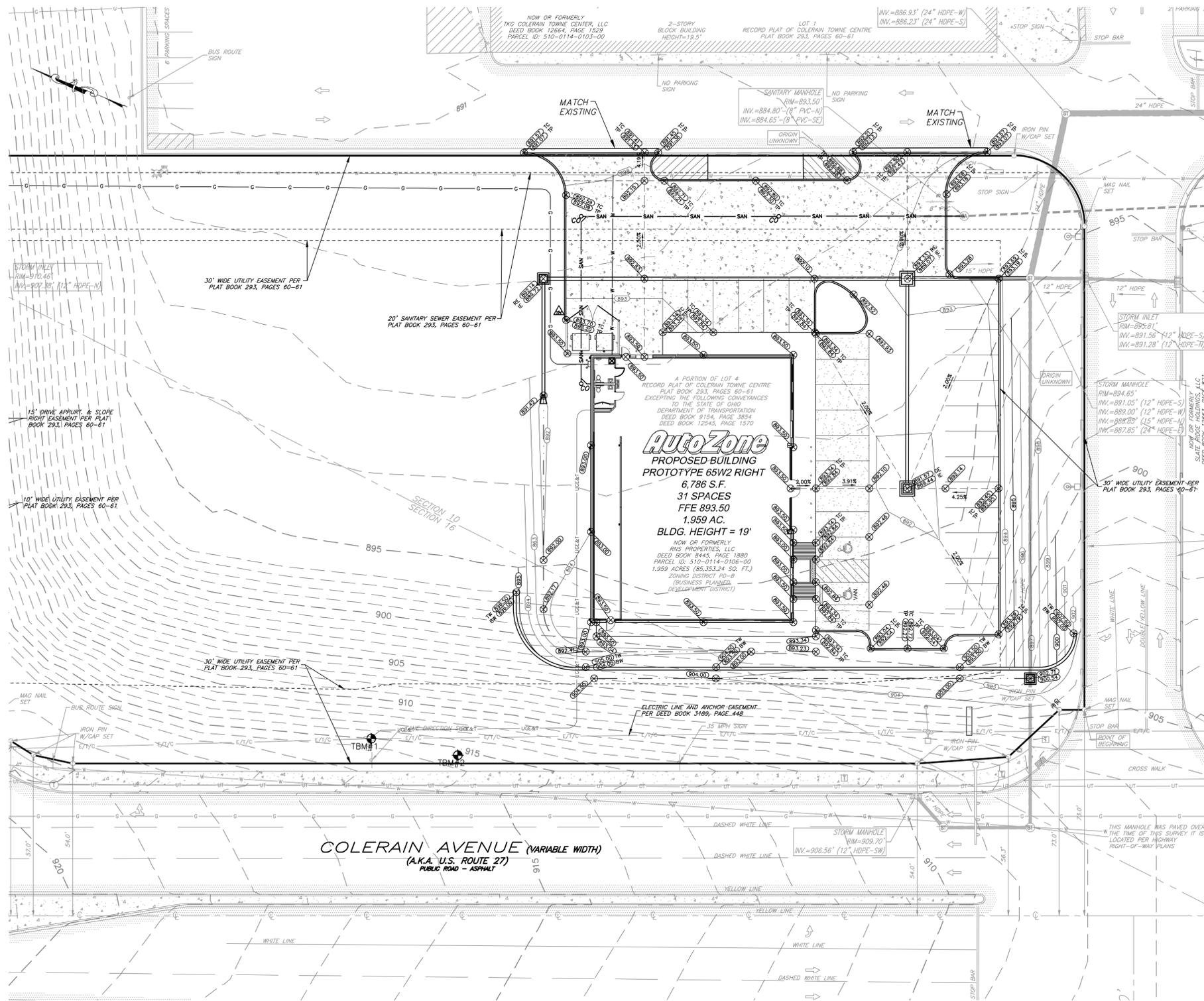


**SITE PLAN**  
**AUTOZONE STORE NO. 4959**  
10164 COLERAIN AVENUE  
TOWNSHIP OF COLERAIN, OHIO 45251

OWNER: **RNS PROPERTIES LLC**  
STATE OF OHIO  
8044 MONTGOMERY SUITE 300  
CINCINNATI, OH 45236  
CLIENT: **AUTOZONE DEVELOPMENT, LLC**  
123 SOUTH FRONT STREET  
MEMPHIS, TENNESSEE 38103

PROJECT NO:	218024-E1
DATE:	MAY 8, 2018
DRAWN BY:	RTG
CHECKED BY:	PRG
SCALE:	1" = 20'

**C1.0**



**GENERAL NOTES**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES AND SERVICE LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO COORDINATE ALL WORK WITH THE ARCHITECTURAL AND MEP DRAWINGS AND ALL AFFECTED UTILITY COMPANIES.
- A MINIMUM OF 18" VERTICAL AND 10' HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER LINES AND SEWERS AS MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- ALL GRASS/LAWN AREAS SHALL BE GRADED TO DRAIN.
- ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
- ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL EVALUATION.
- AN EROSION PREVENTION AND SEDIMENT CONTROL PLAN SHALL BE INSTALLED, MAINTAINED AND REPORTS MAINTAINED PER ALL LOCAL, STATE, AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.



**PRISM ENGINEERING & DESIGN GROUP, LLC**  
 2309 WATKERSON TRAIL, SUITE 200  
 LOUISVILLE, KENTUCKY 40299  
 OFFICE (502) 491-8891  
 FAX (502) 491-8898  
 WWW.THEPRISMDISIGNGROUP.COM



© COPYRIGHT 2018

**GRADING PLAN**  
**AUTOZONE STORE NO. 4959**  
 10164 COLERAIN AVENUE  
 TOWNSHIP OF COLERAIN, OHIO 45251

OWNER: RNS PROPERTIES LLC  
 STATE OF OHIO  
 8044 MONTGOMERY SITE, 300  
 CINCINNATI, OH 45236

CLIENT: AUTOZONE DEVELOPMENT, LLC  
 123 SOUTH FRONT STREET  
 MEMPHIS, TENNESSEE 38103

**UTILITY NOTE**

LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED UPON AN ALTA/ACSM LAND TITLE SURVEY PREPARED BY MCILVRIED, DIDIANO, AND MOX, LLC. NEITHER THE ENGINEER NOR HIS REPRESENTATIVES HAVE VISITED OR OBSERVED THE ACTUAL INSTALLATION OF THE UTILITIES SHOWN. EXACT LOCATIONS OF EXISTING INDIVIDUAL SERVICE LINES ARE NOT KNOWN.

**UTILITY PROTECTION NOTE**

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE OHIO 811 SERVICE "OHIO 811" (TOLL-FREE PHONE NO. 1-800-362-2764, 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATION OF EXISTING BELOW GROUND UTILITIES (I.E.: CABLES, ELECTRICAL WIRES, TELEPHONE LINES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.



**LEGEND**

SEE SHEET C1.5 FOR LEGEND FOR PROPOSED CONSTRUCTION AND ALTA SURVEY SHEET 1 OF 3 FOR LEGEND OF EXISTING CONDITIONS.

**TBM INFORMATION**

- TBM#1 - BENCH TIE SET IN POWER POLE  
ELEVATION: 916.99'
- TBM#2 - TOP OF IRON PIN W/CAP  
ELEVATION: 915.54'

**FLOOD NOTE**

BY GRAPHIC PLOTTING ONLY THIS SITE IS LOCATED IN THE ZONE X OF THE FLOOD INSURANCE RATE MAP, 39061C0065E, COMMUNITY NO. 390204, PANEL NO. 0065, SUFFIX E, EFFECTIVE DATE OF DECEMBER 17, 2010 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

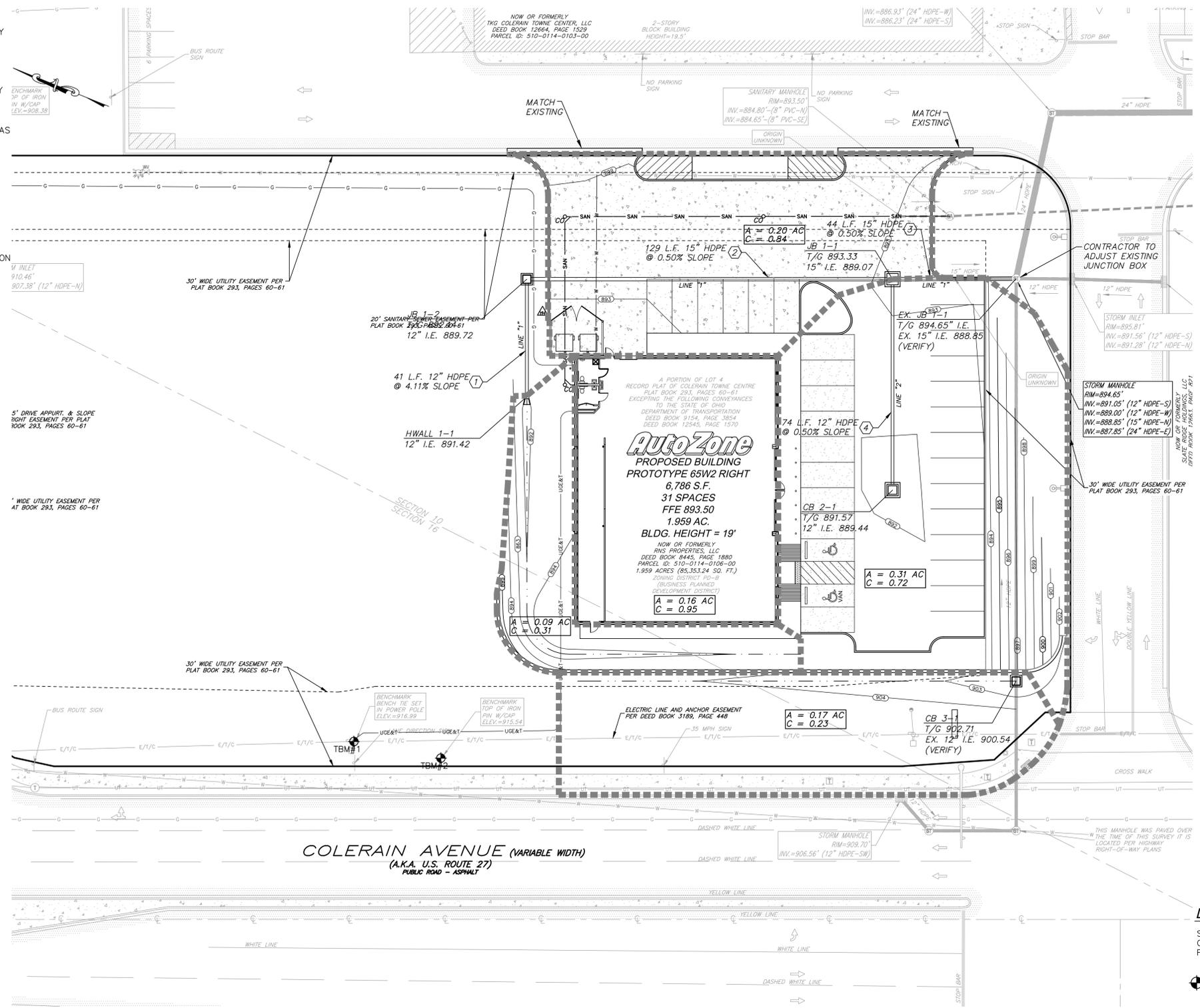


PROJECT NO:	218024-E1
DATE:	MAY 8, 2018
DRAWN BY:	RTG
CHECKED BY:	PRG
SCALE:	1" = 20'

**C1.1**

**GENERAL NOTES**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES AND SERVICE LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO COORDINATE ALL WORK WITH THE ARCHITECTURAL AND MEP DRAWINGS AND ALL AFFECTED UTILITY COMPANIES.
- A MINIMUM OF 18" VERTICAL AND 10' HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER LINES AND SEWERS AS MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- ALL GRASS/LAWN AREAS SHALL BE GRADED TO DRAIN.
- ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
- ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL EVALUATION.
- AN EROSION PREVENTION AND SEDIMENT CONTROL PLAN SHALL BE INSTALLED, MAINTAINED AND REPORTS MAINTAINED PER ALL LOCAL, STATE, AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.



**UTILITY NOTE**

LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED UPON AN ALTA/ACSM LAND TITLE SURVEY PREPARED BY MCLVRIED, DIDIANO, AND MOX, LLC. NEITHER THE ENGINEER NOR HIS REPRESENTATIVES HAVE VERIFIED OR OBSERVED THE ACTUAL INSTALLATION OF THE UTILITIES SHOWN. EXACT LOCATIONS OF EXISTING INDIVIDUAL SERVICE LINES ARE NOT KNOWN.

**UTILITY PROTECTION NOTE**

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE OHIO UTILITIES PROTECTION SERVICE "OHIO 811" (TOLL-FREE PHONE NO. 1-800-362-2764, 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATION OF EXISTING BELOW GROUND UTILITIES (I.E.: CABLES, ELECTRICAL WIRES, TELEPHONE LINES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

**STRUCTURE SUMMARY**

STRUCTURE	DESCRIPTION
Hwall 1-1	PRECAST CONCRETE SLOPED AND FLARED HEADWALL
JB 1-2	PRECAST CONCRETE STRUCTURE WITH NEENAH R-1500 OR AN APPROVED EQUAL
JB 1-1	PRECAST CONCRETE STRUCTURE WITH NEENAH R-1500 OR AN APPROVED EQUAL
CB 2-1	PRECAST CONCRETE STRUCTURE WITH NEENAH R-3433 OR AN APPROVED EQUAL

**DRAINAGE CHART**

PIPE NO.	AREA ac	SLM AREA ac	C	Tc min	I-5 in/nr	I-10 in/nr	I-15 in/nr	Q-5 cfs	Q-10 cfs	Q-15 cfs	Q-20 cfs	Q-25 cfs	Q-30 cfs	Q-35 cfs	Q-40 cfs	Q-45 cfs	Q-50 cfs	LENGTH ft	SIZE in	SLOPE %	V-10 fps	Q FULL cfs
L1-P1	0.25	0.25	0.72	10	3.7	5.3	6.7	0.67	0.67	0.95	1.21	1.21	1.21	1.21	1.21	1.21	1.21	41	12	4.11	7.26	8.54
L1-P2	0.00	0.25	--	--	3.7	5.3	6.7	--	0.67	--	0.95	--	1.21	1.21	1.21	1.21	1.21	129	15	0.50	3.35	5.40
L2-P2	0.31	0.56	0.72	10	3.7	5.3	6.7	0.83	1.50	1.18	2.14	1.50	2.70	2.70	2.70	2.70	2.70	74	12	0.50	4.13	2.98
L1-P3	0.00	0.56	--	--	3.7	5.3	6.7	--	1.50	--	2.14	--	2.70	2.70	2.70	2.70	2.70	44	15	0.50	4.15	5.40
EX. 12"	0.17	0.17	0.23	10	3.7	5.3	6.7	0.14	0.14	0.21	0.21	0.26	0.26	0.26	0.26	0.26	0.26	--	12	8.14*	6.25	12.01

\*ASSUMED SLOPE. CONTRACTOR TO VERIFY.

**LEGEND**

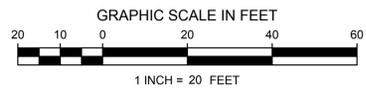
SEE SHEET C1.5 FOR LEGEND FOR PROPOSED CONSTRUCTION AND ALTA SURVEY SHEET 1 OF 3 FOR LEGEND OF EXISTING CONDITIONS.

**TBM INFORMATION**

- TBM#1 - BENCH TIE SET IN POWER POLE ELEVATION: 916.99'
- TBM#2 - TOP OF IRON PIN W/CAP ELEVATION: 915.54'

**FLOOD NOTE**

BY GRAPHIC PLOTTING ONLY THIS SITE IS LOCATED IN THE ZONE X OF THE FLOOD INSURANCE RATE MAP, 39061C065E, COMMUNITY NO. 390204, PANEL NO. 0065, SUFFIX E, EFFECTIVE DATE OF DECEMBER 17, 2010 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



**PRISM ENGINEERING & DESIGN GROUP, LLC**  
 2309 WATKINSON TRAIL, SUITE 200  
 LOUISVILLE, KENTUCKY 40299  
 OFFICE (502) 491-8891  
 FAX (502) 491-8898  
 WWW.THEPRISMGROUP.COM

**DRAINAGE PLAN**  
**AUTOZONE STORE NO. 4959**  
 10164 COLERAIN AVENUE  
 TOWNSHIP OF COLERAIN, OHIO 45251

OWNER: RNS PROPERTIES LLC  
 STATE OF OHIO  
 8044 MONTGOMERY SUITE 300  
 CINCINNATI, OH 45236

CLIENT: AUTOZONE DEVELOPMENT, LLC  
 123 SOUTH FRONT STREET  
 MEMPHIS, TENNESSEE 38103

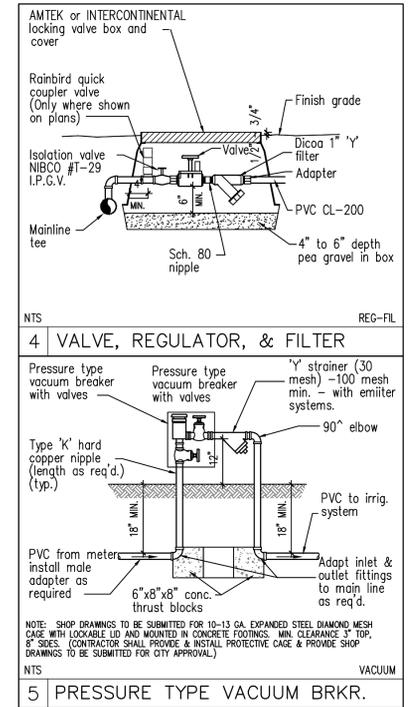
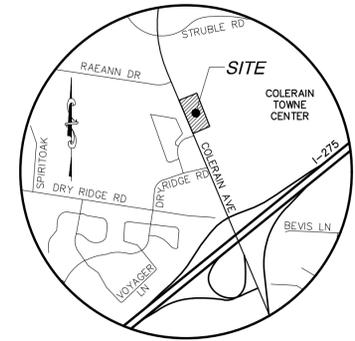
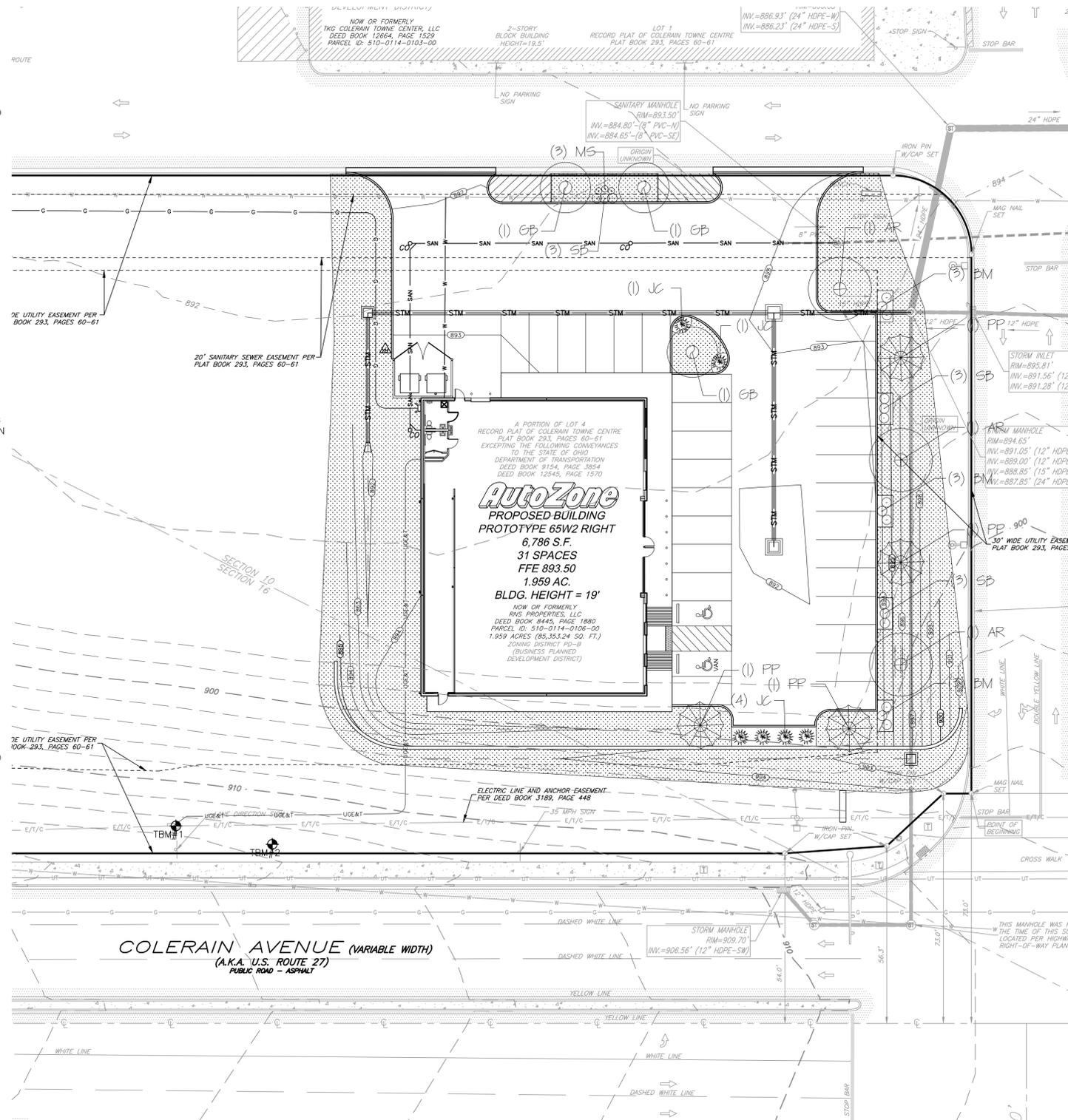
PROJECT NO.: 216024-E1  
 REVISIONS

DATE: MAY 8, 2018  
 DRAWN BY: RTG  
 CHECKED BY: PRG  
 SCALE: 1" = 20'

**C1.2**

**LANDSCAPING NOTES**

- ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT WHERE OTHER PLANT MATERIAL IS CALLED FOR.
- ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH ALUMINUM EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
- ANY LANDSCAPE AREAS DISTURBED BY CONSTRUCTION SHALL BE SCARIFIED TO A DEPTH OF 2", GRADED SMOOTH TO ALLOW FOR POSITIVE DRAINAGE. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN WHETHER ON OR OFF SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., SCARIFY AREA, RE-SEED AND FERTILIZE. ALL R.O.W. CURB AND GUTTERS ARE TO BE CLEANED OF DEBRIS.
- FINISHED GRADE IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" LOWER THAN THE TOP OF THE SURROUNDING CURBS.
- THE CONTRACTOR SHALL PROVIDE A WATER PERMEABLE WEED MAT FOR ALL PLANTING BEDS.
- ALL PLANT MATERIALS TO RECEIVE PERMANENT UNDERGROUND AUTOMATIC IRRIGATION SYSTEM DESIGNED BY AN IRRIGATION CONTRACTOR LICENSED BY THE STATE. THE CONTRACTOR SHALL PROVIDE DRAWINGS FOR APPROVAL BY THE OWNER/CITY PRIOR TO INSTALLATION.
- GRASS AND IRRIGATION TO EXTEND FROM PROPERTY LINES TO BACK OF CITY SIDEWALKS AND/OR CURBS.
- INSTALL PIPE SLEEVES WHERE IRRIGATION LINES CROSS OR ARE UNDER PAVEMENT. ALL SLEEVES SHALL BE TWICE THE DIAMETER OF THE PIPE(S) IT HOUSES.
- TURF NOTES: SELECT LOW MAINTENANCE HYBRID TURF FROM LOCAL GROWER. TEST SOIL FOR PROPER PH FOR SELECT SOD. AMEND SOIL WITH ORGANIC MATERIAL, FERTILIZER, AND FINISH GRADE. STAGGER ALL SOD SEAMS, FILL ANY GAPS WITH SAND, WATER, AND ROLL SMOOTH. CONTRACTOR TO REPLACE ANY DEAD SOD WITHIN ONE GROWING SEASON.
- NOT USED.
- CONTRACTOR IS TO VERIFY LOCATIONS OF ALL UTILITIES WITH THE OWNER AND UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING IN THE FIELD ACTUAL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES, WHETHER INDICATED ON PLANS OR NOT. CONTRACTOR MUST CALL THE UTILITIES PROTECTION SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR DAMAGE OF UTILITY LINES.
- CONTRACTOR TO EXAMINE FINISH SURFACE, GRADE ACCURACY AND TOPSOIL FOR DEPTH AND QUALITY; IF CONDITIONS ARE UNSATISFACTORY, NOTIFY OWNER AND DO NOT BEGIN WORK UNTIL CONDITIONS HAVE BEEN CORRECTED.
- PRIOR TO INSTALLATION, REPAIR ALL DAMAGES MADE TO EXISTING CONDITIONS TO A SATISFACTORY MANNER.
- EXISTING VEGETATION TO REMAIN SHALL BE PRESERVED IN ACCORDANCE TO ACCEPTABLE NURSERY INDUSTRY PROCEDURES.
- PLANT MATERIALS SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND SHALL HAVE PASSED INSPECTION REQUIRED UNDER STATE REGULATIONS.
- IF PROPOSED PLANT LOCATIONS CONFLICT WITH UTILITIES, LIGHTS, OR CROWD EXISTING PLANT MATERIAL, NOTIFY THE OWNER TO CONSULT ON THE ADJUSTMENTS OF ANY PLANT LOCATIONS.
- ALL PLANTINGS TO BE CONTAINED WITHIN BARK MULCHED BED. BARK MULCH TO BE SHREDDED HARDWOOD, DARK IN COLOR.
- SOD ALL DISTURBED AREAS, THAT ARE NOT LANDSCAPED AS INDICATED ON PLAN.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE IN LAWN AREAS. CONTRACTOR IS RESPONSIBLE FOR PLANT'S LIVABILITY WITH A (1) YEAR MATERIAL AND LABOR WARRANTY FOR ALL.
- ANY CONTRACTOR RECOMMENDED SUBSTITUTIONS MUST BE APPROVED BY THE OWNER. UNAPPROVED SUBSTITUTIONS SHALL BE REMOVED AND REPLACED WITH APPROPRIATE PLANTS.
- IF ANY DISCREPANCIES BETWEEN PLAN AND PLANT SCHEDULE, ACCEPT THE PLAN TO BE CORRECT.
- TOPSOIL MUST BE BACKFILLED TO PROVIDE POSITIVE DRAINAGE OF THE LANDSCAPE AREAS.



**GENERAL IRRIGATION NOTES**

- CONTRACTOR TO PROVIDE DESIGN DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
- IRRIGATION SYSTEM TO EXTEND FROM SERVICE LOCATION AT CONTROLS LOCATED AT THE BUILDING, THEN TO ALL LANDSCAPE AREA ON SITE. A DOUBLE CHECK VALVE BACKFLOW PREVENTER IS REQUIRED.
- INSTALL 1 1/2" DIA. PVC PIPE SLEEVES WHERE IRRIGATION LINES CROSS OR ARE UNDER PAVEMENT.
- CONTRACTOR TO COORDINATE WITH WATER UTILITY REGARDING LOCATION AND CONSTRUCTION OF WATER SERVICE FOR IRRIGATION SYSTEM.

**LEGEND**

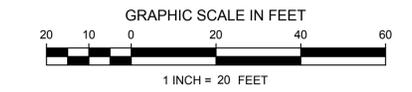
SOD  
 SEE SHEET C1.5 FOR LEGEND FOR PROPOSED CONSTRUCTION AND ALTA SURVEY SHEET 1 OF 3 FOR LEGEND OF EXISTING CONDITIONS.

**TBM INFORMATION**

TBM#1 - BENCH TIE SET IN POWER POLE  
 ELEVATION: 916.99'  
 TBM#2 - TOP OF IRON PIN W/CAP  
 ELEVATION: 915.54'

**FLOOD NOTE**

BY GRAPHIC PLOTTING ONLY THIS SITE IS LOCATED IN THE ZONE X OF THE FLOOD INSURANCE RATE MAP, 39061C0065E, COMMUNITY NO. 390204, PANEL NO. 0065, SUFFIX E, EFFECTIVE DATE OF DECEMBER 17, 2010 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.



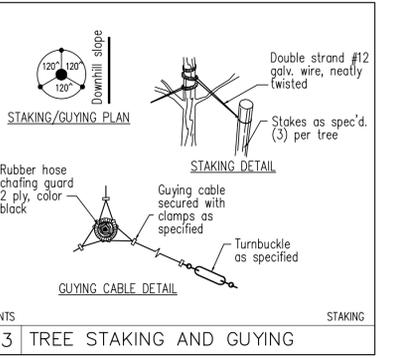
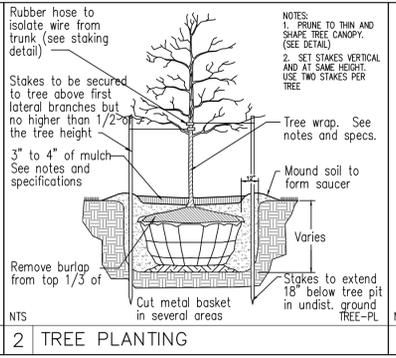
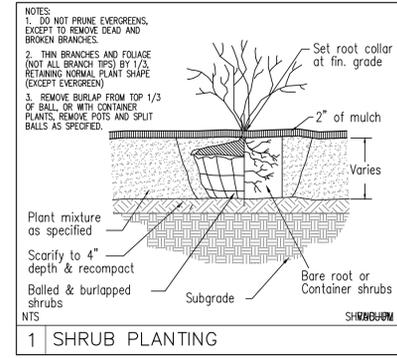
PLANTING SCHEDULE				
QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	SIZE / REMARKS
<b>TREES</b>				
3	AR	ACER rubrum 'Somerset'	Somerset Red Maple	2" cal., B&B
3	GB	GINKGO biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2" cal., B&B
4	PP	PICEA pungens 'Hoopsii'	Hoops Blue Spruce	6' H, B&B
<b>SHRUBS</b>				
9	BM	BUXUS microphylla 'Winter Gem'	Winter Gem Boxwood	No. 3 Container
6	JC	JUNIPERUS chinensis 'Soybrook Gold'	Soybrook Gold Juniper	No. 3 Container
9	SB	SPIRAEA betuliflora 'Tor'	Tor Spiraea	No. 3 Container
<b>GRASSES</b>				
3	MS	MISCANTHUS sinensis 'Oracilima'	Maiden Grass	Clump, No. 5 Container

**UTILITY NOTE**

LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED UPON AN ALTA/ACSM LAND TITLE SURVEY PREPARED BY MCLVRIED, DIDIANO, AND MOX, LLC. NEITHER THE ENGINEER NOR HIS REPRESENTATIVES HAVE VERIFIED OR OBSERVED THE ACTUAL INSTALLATION OF THE UTILITIES SHOWN. EXACT LOCATIONS OF EXISTING INDIVIDUAL SERVICE LINES ARE NOT KNOWN.

**UTILITY PROTECTION NOTE**

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE OHIO UTILITIES PROTECTION SERVICE "OHIO 811" (TOLL-FREE PHONE NO. 1-800-362-2764, 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATION OF EXISTING BELOW GROUND UTILITIES (I.E.: CABLES, ELECTRICAL WIRES, TELEPHONE LINES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.



**PRISM ENGINEERING & DESIGN GROUP, LLC**  
 2309 WATTSVILLE TRAIL, SUITE 200  
 LOUISVILLE, KENTUCKY 40299  
 OFFICE (502) 491-8891  
 FAX (502) 491-8898  
 WWW.THEPRISMDISIGNGROUP.COM



**LANDSCAPE PLAN**  
**AUTOZONE STORE NO. 4959**  
 10164 COLERAIN AVENUE  
 TOWNSHIP OF COLERAIN, OHIO 45251

**RNS PROPERTIES LLC**  
 STATE OF OHIO  
 8044 MONTGOMERY SUITE 300  
 CINCINNATI, OH 45236  
**AUTOZONE DEVELOPMENT, LLC**  
 123 SOUTH FRONT STREET  
 MEMPHIS, TENNESSEE 38103

PROJECT NO.: 216024-E1  
 DATE: MAY 8, 2018  
 DRAWN BY: RTG  
 CHECKED BY: PRG  
 SCALE: 1" = 20'

**L1.0**