

COLERAIN TOWNSHIP ZONING COMMISSION

Regular Meeting

Tuesday, September 18, 2018 - 6:00 p.m.

Colerain Township Government Complex
4200 Springdale Road - Cincinnati, OH 45251

1. Meeting called to order.
Pledge of Allegiance.
Roll Call.
2. Approval of Minutes: August 21, 2018 Meeting.
3. Public Address: None.
4. Final Development Plan: None.
5. Public Hearings:
ZA2006-07 Triple Creek Retirement Community
Major Amendment to a Preliminary Development Plan
6. Informal Concept Review: None.
7. Old Business: None.
8. New Business: None.
9. Administration: None.
10. Announcements: None.
11. Next Meeting: November 20, 2018.
12. Adjournment.



4200 Springdale Road
Colerain Township, OH 45251

STAFF REPORT: Major Modification to a Preliminary
Development Plan
Case #ZA2007-07
11230 Pippin Rd.
September 18, 2018

PREPARED BY: Marty Kohler
Senior Planner

Request:

Major Modification to an approved Preliminary Development Plan for Triple Creek Nursing Care in an existing PD-B Planned Development Business District.

Purpose:

To increase the permitted beds per acre from 18.0 to 19.4 to allow for a building expansion to accommodate 7 additional beds.

Applicant/Owner:

Michael Brand – C&K Partnership

Location:

11230 Pippin Road located just north of I-275 and across from Triple Creek Park.

Site Description:

Tract Size:	4.895 acres
Frontage:	350 feet on Pippin Road
Topography:	Relatively flat
Existing Development:	Nursing Home

Surrounding Conditions:

<u>Zone</u>	<u>Land Use</u>
North: R-6 Urban Residential	Single Family
South: PD-B Planned Business	Multi-Family
East: PD-B Planned Business	Multi-Family
West: R-6 Urban Residential	Triple Creek Park

Case History:

In August of 2006, a 52,059 square foot skilled nursing care facility along with 15 independent living duplex villas and a medical office were approved as part of a zone change under the previous zoning designations (pre-2006 Zoning Resolution Update) from B-2 Single Family to OO Planned Office. The proposal also included a medical/professional building on the southwest corner of the development. This building was planned to be developed in the future after both the nursing facility and villas were built. However, it was never constructed and that portion of the site remains vacant.

Right-of-way for Pippin Road was dedicated and sidewalks constructed on the frontage were constructed as part of the original development.

Proposed Use:

The applicant is proposing to construct a 2,449 square foot one-story building addition to the existing skilled nursing care facility to add four new skilled care units (8 additional beds). Interior renovations would remove an existing unit where the total number of rooms would increase from 71 to 74 rooms and the total number of beds would increase from 88 to 95 beds. The project also includes interior remodeling which does not affect the total number beds in the facility. No alterations are being proposed to the parking lot or driveways around the skilled nursing care facility. No alterations are being proposed for the villas section of the development.

This request is being considered as a Major Modification to the approved Preliminary Development Plan due to the allowed maximum density of 18 beds per and the proposed density is 19.4. This modification will be processed similar to a zone change request with a review and recommendation by the Regional Planning Commission and the Township Zoning Commission, with the final vote by the Township Trustees.

Conformance with Comprehensive Plan:

The Comprehensive Plan provides land use recommendations which include the site in question within the Bevis/Pleasant Run Character Area. The area plan primarily focuses on the development/redevelopment of the Hamilton Road corridor but does mention public and institutional uses as appropriate for the area. The plan also calls for moderate amounts of attached housing. The land use map indicates this area as “Suburban Neighborhood”.

Conformance with Zoning Regulations:

Section 7.4.6 (A) & (B) - Institutional Housing – Density

This section states that the maximum density of institutional housing shall be 7 units or 7 beds per acre. The Zoning Commission and Trustees approved 18.0 beds per acre as part of the original approval of the zone change. Unlike institutional housing in residential districts, there is no maximum number of beds per site in the PD-B district. The request is to increase the permitted beds per acre of 18.0 to 19.4 for the portion of the site containing the existing nursing home. The development of the overall site is regulated by the “PD-B” district development standards and the total density for the overall PD area is slightly increased. There is little concern that the increase in permitted beds per acre would negatively impact the surrounding area.

The proposed addition meets the required minimum property line setbacks, parking requirements, and lot coverage requirements. Issues such as lighting and landscaping are addressed on the Final Development Plan.

OTHER AGENCY REPORTS

Hamilton County Regional Planning Commission:

On September 6, 2018, the Hamilton County Regional Planning Commission voted unanimously to recommend approval of the Major Modification to a Preliminary Development Plan with two conditions:

Conditions:

1. That all conditions approved as part of case Colerain ZA2006-07 shall remain in effect for the subject site.
2. That a lighting plan in compliance with the Zoning Resolution shall be submitted as part of the Final Development Plan.

Hamilton County Storm Water & Infrastructure

- No response

Colerain Township Fire Department

- No response

Hamilton County GIS

- No response

Hamilton County Soil & Water Conservation District

- E-mail from Chey Alberto attached.

ODOT

- E-mail stating no comment

Hamilton County Engineer

- No Response

Metropolitan Sewer District

- No Response

DISCUSSION:

1. Staff has reviewed zoning regulations from several communities and has found that the most common measurement of density for nursing homes is a limitation on bedrooms per acre. Colerain's restriction of 7 beds per acre is the most restrictive of the sample. Some regulations only restrict lot coverage and setbacks for institutional housing.
2. A Final Development Plan must be submitted after the approval of the Preliminary Development Plan. The Final Development Plan will address issues such as the exterior appearance of the building, landscaping, lighting, parking, and buffering.

RECOMMENDATION:

Staff recommends **APPROVAL** of the Major Modification to the Preliminary Development Plan with the following conditions:

Conditions:

1. That all conditions approved as part of case Colerain ZA2006-07 shall remain in effect for the subject site.

2. That a Final Development Plan be submitted for review and approval by the Colerain Zoning Commission.
3. That the proposed development be permitted a maximum density of 19.4 beds per acre where 18 beds per acre was approved on the previous approved plan.

Jesse Urbancsik

From: Alberto, Marcelo <Marcelo.Alberto@hamilton-co.org>
Sent: Monday, August 27, 2018 1:21 PM
To: Jesse Urbancsik
Cc: James Gleason
Subject: RE: CASE ZA2006-07 Triple Creek Retirement Community | Major FDP Amend

Mr. Urbanncsik:

The proposed project will require a submittal for Earthwork Permit Review to the Hamilton County Soil & Water Conservation District. The following issues must be addressed on the final development plans prior to the approval and issuance of the earthwork permit.

1. Sites disturbing more than 1 acre of ground for construction activities must file a notice of intent (NOI) to the Ohio EPA for Stormwater discharge associated with construction. A copy of the approved NPDES Construction NOI must be provided to the District. Instructions to file this notice can be viewed at: <https://ebiz.epa.ohio.gov/login.html>
2. The final development plans must include the Erosion Prevention and Sediment Control Plan (EP&SC Plan) compliant with the requirements under the Revised Rules and Regulations of the Hamilton County Soil & Water Conservation District and the Hamilton County Stormwater District Governing Earthwork. The regulations can be downloaded from http://www.hamilton-co.org/stormwater/HCSWD_Rules_And_Regulations.htm.
 - a. The EP&SC must address the "Earthwork Requirements for Improvement Plans" under Section 309 of the Earthwork Regulations.
 - b. The EP&SC must comply with the requirements of Section 310 "Erosion Prevention and Sediment Control Performance Standards" and Section 312 "Non-Sediment Pollution BMP Performance Standards"
3. The Erosion Prevention and Sediment Control Plan or the Stormwater Pollution Prevention Plan must use best management practices (BMPs) approved under the 2006 State of Ohio Rainwater and Land Development Manual. The Rainwater and Land Development Manual can be downloaded from the Ohio Department of Natural Resources website at: http://epa.ohio.gov/Portals/35/storm/technical_assistance/RLD_11-6-14All.pdf
4. The Erosion Prevention and Sediment Control Plan must also include Non-sediment Pollutant Controls. Non-sediment pollutant sources, which may be present on a construction site, include paving operations, concrete washout, structure painting, structure cleaning, demolition debris disposal, drilling and blasting operations, material storage, slag, solid waste, hazardous waste, contaminated soils, sanitary and septic wastes, vehicle fueling and maintenance activities, and landscaping operations.
5. The grading plan will also be reviewed for compliance with Section 311 "Geotechnical Performance Standards". Depending on the review, the earthwork might have to be monitored by a geotechnical engineer during construction and certified upon completion. The geotechnical report must be forwarded to the District.

Please let me know if you have questions.

Sincerely,

Chey Alberto
HCSWCD

From: Jesse Urbancsik [mailto:jurbancsik@colerain.org]

Sent: Wednesday, August 22, 2018 10:52 AM

To: Beck, Eric; Cassiere, Greg; Alberto, Marcelo; Mark Walsh; Islam, Mohammad; Schmidt, Penny; Parker, Steven; Tom Makris

Cc: Jenna LeCount; Martin Kohler

Subject: CASE ZA2006-07 Triple Creek Retirement Community | Major FDP Amend

Good morning all,

CASE ZA2006-07 Triple Creek Retirement Community is planned to be placed on the agenda for the **September 6th, 2018** Hamilton County Regional Planning Commission Meeting. This case is a Major Amendment to a Final Development Plan.

This has been placed on the Colerain Township Zoning Commission Meeting on September 18th, 2018.

Any comments you can provide to me before **September 10th** would be greatly appreciated.

Please feel free to contact us with any questions.

Thank you!

JESSE URBANCSIK

PLANNER | Planning & Zoning Department

COLERAIN TOWNSHIP

4200 Springdale Road
Colerain Township, OH 45251

513-923-5021 – DIRECT

513-245-6503 – FAX

Get in the [CerkI](#) to stay up-to-date with the latest in Colerain Township

PRIVACY/CONFIDENTIALITY NOTICE REGARDING PROTECTED HEALTH INFORMATION

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Jesse Urbancsik

From: Schmidt, Penny <Penny.Schmidt@cincinnati-oh.gov>
Sent: Monday, August 27, 2018 9:29 AM
To: Jesse Urbancsik
Subject: RE: [External Email] CASE ZA2006-07 Triple Creek Retirement Community | Major FDP Amend
Attachments: Availability Form.pdf

Good morning, Jesse.

I have forwarded a Request for Availability of Sewer Service form (see attached) to Michael Brand at mbrand@manksmithgroup.com. This form will need to be completed and submitted prior to MSD reviewing the proposed development.

Should you have any questions, please let me know.

Thanks, Penny

From: Jesse Urbancsik [mailto:jurbancsik@colerain.org]
Sent: Wednesday, August 22, 2018 10:52 AM
To: Eric Beck; Greg Cassiere; Marcelo Alberto; Mark Walsh; Mohammad Islam; Schmidt, Penny; Parker, Steven; Tom Makris
Cc: Jenna LeCount; Martin Kohler
Subject: [External Email] CASE ZA2006-07 Triple Creek Retirement Community | Major FDP Amend

External Email Communication

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JESSE URBANCSIK
PLANNER | Planning & Zoning Department

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Colerain Township, OH 45251
513-923-5021 – DIRECT
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PRIVACY/CONFIDENTIALITY NOTICE REGARDING PROTECTED HEALTH INFORMATION

Jesse Urbancsik

From: Cassiere, Greg <Greg.Cassiere@hamilton-co.org>
Sent: Thursday, August 23, 2018 7:59 AM
To: Jesse Urbancsik
Subject: RE: CASE ZA2006-07 Triple Creek Retirement Community | Major FDP Amend

Jesse,
As this property is not served by a private sewage treatment system nor a private water system, I have has no issues with the proposal.
Thanks

Greg Cassiere
Supervisor, Division of Water Quality
Hamilton County Public Health
p: 513.946.7871 f: 513.946.7890
a: 250 William Howard Taft Rd.
Cincinnati, OH 45219



PREVENT. PROMOTE. PROTECT.



From: Jesse Urbancsik [mailto:jurbancsik@colerain.org]
Sent: Wednesday, August 22, 2018 10:52 AM
To: Beck, Eric; Cassiere, Greg; Alberto, Marcelo; Mark Walsh; Islam, Mohammad; Schmidt, Penny; Parker, Steven; Tom Makris
Cc: Jenna LeCount; Martin Kohler
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Thank you!

JESSE URBANCSIK
PLANNER | Planning & Zoning Department

COLERAIN TOWNSHIP

Jesse Urbancsik

From: Tom.Makris@dot.ohio.gov
Sent: Wednesday, August 22, 2018 12:43 PM
To: Jesse Urbancsik
Subject: RE: CASE ZA2006-07 Triple Creek Retirement Community | Major FDP Amend

Good Afternoon Jesse,

I don't have any comments to this submittal.
Since the access is not directly to an ODOT jurisdictional route.

Thank you,

Thomas G. Makris, P.E., M.B.A.

Permit Engineer

District 8 Office of Permits

505 South State Route 741, Lebanon, Ohio 45036

(513) 933.6575

transportation.ohio.gov



From: Jesse Urbancsik [mailto:jurbancsik@colerain.org]

Sent: Wednesday, August 22, 2018 10:52 AM

To: Eric Beck <eric.beck@hamilton-co.org>; Greg Cassiere <greg.cassiere@hamilton-co.org>; Marcelo Alberto <marcelo.alberto@hamilton-co.org>; Mark Walsh <mwash@colerain.org>; Mohammad Islam <mohammad.islam@hamilton-co.org>; Penny Schmidt <Penny.Schmidt@cincinnati-oh.gov>; Steven Parker <steven.parker@cincinnati-oh.gov>; Makris, Thomas <Tom.Makris@dot.ohio.gov>

Cc: Jenna LeCount <jlecount@colerain.org>; Martin Kohler <mkohler@colerain.org>

Subject: CASE ZA2006-07 Triple Creek Retirement Community | Major FDP Amend

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Thank you!

APPLICATION FOR ZONE MAP AMENDMENT
 REQUIRING A PRELIMINARY DEVELOPMENT PLAN
 or MAJOR AMENDMENT TO A FINAL DEVELOPMENT PLAN
 COLERAIN TOWNSHIP ZONING COMMISSION
 4200 SPRINGDALE ROAD
 CINCINNATI, OH 45251

Case No.: ZA _____ Date Filed: 7/24/18

Date of Preliminary Hearing (if applicable): NA

Request Change from: major FDP amendment to: _____

Township: Colerain Book: 510 Page: 22 Parcels: 510-0022-0096

Physical location of property (address or brief description if no address assigned):
11230 Pippin Rd Colerain, Ohio

Name of Applicant: Michael Brand

Telephone No.: 216-378-1490 Email Address: mbrand@manniksmithgroup.com

Address: 23225 Mercantile Road

City: Beachwood State: Ohio Zip: 44122

*Name of Owner(s): C & K Partnership

Telephone No.: 502-213-1742 Email Address: garyjoy@trilogyhs.com

Address: 11230 Pippin Rd

City: Cincinnati State: OH Zip: 45231

Name, address and parcel number of each property owner of record within the proposed amendment area:

1. See attached

2. _____

3. _____

(attach separate sheet if necessary for additional parcels)

Signatures:
 Applicant:  Date: 7/24/2018

*Owner:  Date: 7/24/2018

*Owner: _____ Date: _____

Filing fees shall accompany the application. Make check payable to: *Colerain Township Board of Trustees.*
 Filing fee: \$2,034.25 Legal notices: \$60.00 Cert. Mail: \$9.00 TOTAL: \$2,103.25

THERE SHALL BE NO REFUND OR PART THEREOF ONCE PUBLIC NOTICE HAS BEEN GIVEN.

*Although the Applicant need not be the same as the Owner(s), the Owner(s) shall co-sign for an amendment.
 Filing Fee: \$1,300 + 4.895 ac * \$150 per ac = \$2,034.25
 Legal Notices: 2 notices * \$30 per notice = \$60
 Cert. Mail: \$0.50 per notice * 9 addresses * 2 notices = \$9.00



**Submission Requirements
for Amendment to the Colerain Township Zone Map
and Preliminary Development Plan
or Major Amendment to a Final Development Plan**

For office use only:

Case #:

See Zoning Resolution Section 4.3 for full description of the Amendment process. For questions, clarification, and confirmation of meeting times, please call the Colerain Township Planning & Zoning Department at (513) 385-7505.

All required items must be submitted by the published deadline for the desired Zoning Commission meeting.

- Application letter signed by the property owner, describing the proposed zone change and project. (15 copies)
- Completed application form.
- Application fee. Coming in separate package
- Legal description of the property.
- Names and addresses of property owners adjacent to the subject property.
- Hamilton County Public Works and SDS applications. (2 copies)
- Letter confirming conceptual approval of sewer from MSD or OEPA as applicable.

Drawing Copies required:

Fifteen (15) full size copies of the drawings listed below, signed and stamped by registered professional preparer. These should be folded to 8.5" x 11", with title block visible.

Fifteen (15) 11" x 17" copies of the drawings listed below.

Digital version REQUIRED for each of the drawings listed below, in JPEG or PDF format (use colors readable on white background), on CD. To email, contact the Planning & Zoning Dept. for contact: 513-385-7505.

Site Drawing(s) shall include:

- | | |
|--|--|
| <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Vicinity map. <input checked="" type="checkbox"/> Existing property lines, dimensions, and orientations. <input checked="" type="checkbox"/> Parcel IDs and names of property owners adjacent to the subject property. <input checked="" type="checkbox"/> Adjacent streets and rights-of-way. <input checked="" type="checkbox"/> Existing and proposed zoning district boundaries. <input checked="" type="checkbox"/> Existing buildings and structures on property and on adjacent property within 50 feet of property line. <input checked="" type="checkbox"/> Proposed new construction and site work. <input checked="" type="checkbox"/> Equipment, outbuildings, dumpster locations, etc. that will be visible on the site. <input checked="" type="checkbox"/> Proposed demolition of existing buildings, pavement, fencing, etc. <input checked="" type="checkbox"/> Total gross and net acreage of the site and square footage of existing and proposed buildings. <input checked="" type="checkbox"/> Existing flood plain elevation. <input checked="" type="checkbox"/> Proposed flood plain drainage and control measures. | <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Dimensions for setbacks, rights-of-way, easements, and other site restrictions. <input checked="" type="checkbox"/> Parking and loading configuration, including calculation of total spaces, criteria used to determine total needed, pavement detail, curb location, curb detail, and aisle and stall dimensions. <input checked="" type="checkbox"/> Watershed details for site and within 200 feet around site. Include GPM calculations for expected runoff for 5, 10, and 50 year storms. <input checked="" type="checkbox"/> Proposed site drainage, including water retention/detention and sedimentation control measures. <input checked="" type="checkbox"/> Building downspouts and storm sewer sizes and locations. <input checked="" type="checkbox"/> Existing site contours (5' minimum) and proposed grading plan. <input checked="" type="checkbox"/> Impervious surface ratio (for non-single family projects). <input checked="" type="checkbox"/> Location(s) of any existing and proposed ground signage. |
|--|--|

Building Drawing(s) shall include:

- | | |
|--|--|
| <ul style="list-style-type: none"> <input checked="" type="checkbox"/> A building plan for each building, showing the interior layout of the building and overall dimensions. | <ul style="list-style-type: none"> <input type="checkbox"/> Exterior elevations shall show all major mechanical equipment, satellite dishes, etc. that will be located on the exterior of the building and the method(s) of screening these items.
Coming in separate package |
|--|--|

(over)

Coming in separate package

- Exterior elevations of all sides of proposed new construction (including significant renovation). Building materials should be noted. (For additions to existing buildings, sufficient portions of the existing building shall be shown in elevation to convey an understanding of the relationship between new construction and existing.

NA A roof plan shall be submitted if any major items of equipment are to be located on the roof. (Drawings, photographs, and/or manufacturer's literature may be required to convey the size and character of these items.)

Landscape Drawing(s) shall include:

- Clearing limits and existing plant material that is to remain, including an indication of the size of all major trees, shrubs, etc. Existing trees of four-inch caliper and greater must be shown if subject to removal. (Size and extent may be conveyed by photograph.)
- Proposed new landscaping including notation indicating size and species of all new plants.
- Existing landscaping on adjacent properties must be indicated if it influences the landscape planning for the site under construction (may be conveyed by photograph).

Lighting and Signage Drawing(s) shall include:

- Text, color, dimensions, character, and location of all existing and proposed signage. (Building mounted signage may be shown on the building elevations.)
 - Location, dimensions, details and specifications for exterior lights, including type of standards and radius of lights.
 - Photometric chart showing intensity in footcandles across the site and at property lines.
-

Checklist completed by: Michael Brand
(print or type name)

Signature: 

Phone/email: 216-379-1490 mbrand@manniksmithgroup.com

All required items must be submitted by the published deadline for the desired Zoning Commission meeting.

<i>For Office Use Only:</i>
Preapplication Conference:
Fees Paid:
RPC meeting:
Zoning Commission:
Trustees Hearing:

TRILOGY HEALTH SERVICES, LLC

TRIPLE CREEK RETIREMENT COMMUNITY AT 11230 PIPPIN ROAD COLERAIN TOWNSHIP, OHIO

SITE DATA TABLE

FEMA FLOODPLAIN CLASSIFICATION: FLOOD ZONE 'X'. AREAS DETERMINED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOOD PLAIN.

- SITE IS CURRENTLY ZONED PD-PLANNED DEVELOPMENT BUSINESS. SITE IS SURROUNDED BY R-6 ZONING.
- STORMWATER MANAGEMENT IS PROVIDED BY AN EXISTING BASIN.

BUILDING USE: EXISTING LONG-TERM CARE FACILITY WITH PROPOSED SKILLED CARE ADDITION

LOT AREA: 4.895 ACRES

SQ. FOOTAGE OF PROPOSED ADDITION: APPROX. 2,500 SQ. FT.

LOT COVERAGE: 52,302 SQ. FT. (EXISTING), 54,802 SQ. FT. (PROPOSED)
24.5% (EXISTING), 25.7% (PROPOSED)

IMPERVIOUS AREA: 2.58 ACRES (EXISTING), 2.66 ACRES (PROPOSED)
% IMPERVIOUS: 53% (EXISTING), 54% (PROPOSED)

SETBACKS:
FRONT: 30 FT.
SIDE: BUILDING: 0 FT. (05 FT. ABUTTING RES.)
REAR: BUILDING: 0 FT.

PARKING REQUIREMENTS:

EXISTING LONG TERM CARE FACILITY:
1 SPACE PER 2 PATIENT BEDS
106 BEDS / 2 BEDS PER SPACE, MIN = 53 SPACES

PROPOSED SKILLED CARE ADDITION:
1 SPACE PER 2 PATIENT BEDS
8 BEDS / 2 BEDS PER SPACE, MIN = 4 SPACES

SPACES REQUIRED: 53 (EXISTING FACILITY) + 4 (PROPOSED ADDITION) = 57
SPACES PROVIDED: 80 (69 STANDARD + 11 ADA SPACES)

PARKING DENSITY:

EXISTING LONG TERM CARE FACILITY:
106 BEDS / 4.895 ACRES = 21.65 BEDS/ACRE

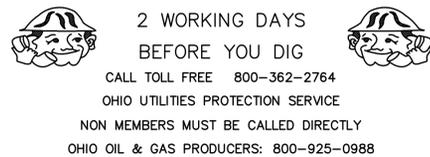
AFTER PROPOSED SKILLED CARE ADDITION:
114 BEDS / 4.895 ACRES = 23.29 BEDS/ACRE

ADDITIONAL SITE INFORMATION:

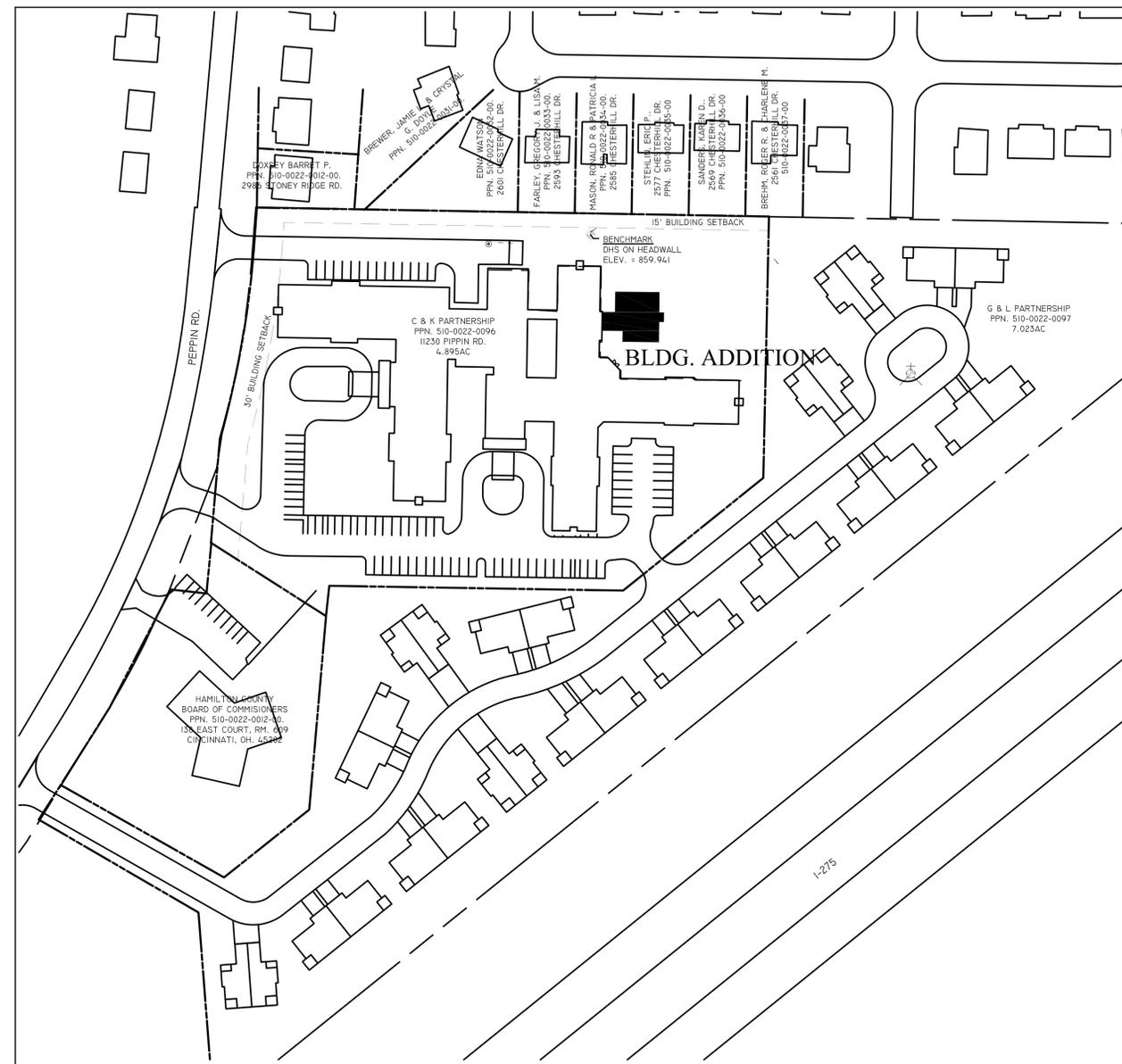
- NO NEW SIGNAGE IS PROPOSED.
- ALL UTILITIES ARE PROVIDED BY CONNECTIONS TO THE EXISTING FACILITY.
- EXTERIOR LIGHTS FOR THE PROPOSED ADDITION ARE LIMITED TO UNDER THE CANOPIES.

BENCHMARKS

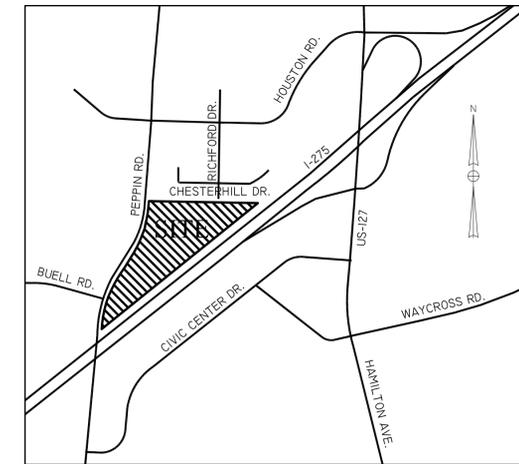
- BENCHMARK #1**
ELEV. 859.94
DRILL HOLE IN SOUTHEAST END OF CONCRETE HEADWALL, APPROXIMATELY 35 FT. NORTH OF NORTHWEST WING OF EXISTING BUILDING AT 11230 PIPPIN RD., AND 405 FT. EAST OF CENTERLINE OF PIPPIN RD.
- BENCHMARK #2**
ELEV. 854.46
FLANGE BOLT ON FIRE HYDRANT LOCATED AT SOUTHERN END OF ISLAND IN THE CUL-DE-SAC AT THE NORTH-EAST END OF STRAWBERRY LANE.



PREPARED FOR
TRILOGY HEALTH SERVICES, LLC.
303 N. HURSTBOURNE PARKWAY, SUITE 200
LOUISVILLE, KY 40222



INDEX MAP
NOT TO SCALE



LOCATION MAP
NOT TO SCALE

APPROVALS

SIGNATURES BELOW SIGNIFY CONCURRENCE WITH THE GENERAL PURPOSE AND LOCATION OF THE PROPOSED PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE DESIGN ENGINEER PREPARING THE PLANS.

PLAN SET APPROVED BY:

HAMILTON COUNTY BUILDING DEPARTMENT _____ DATE _____

COLERAIN TOWNSHIP PLANNING AND ZONING DEPARTMENT _____ DATE _____

PROJECT CONTACTS

DEVELOPER
TRILOGY HEALTH SERVICES, LLC.
303 N. HURSTBOURNE PARKWAY
SUITE 200
LOUISVILLE, KY 40222

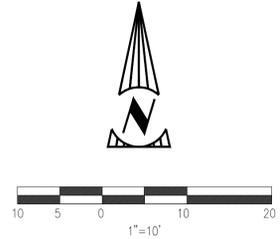
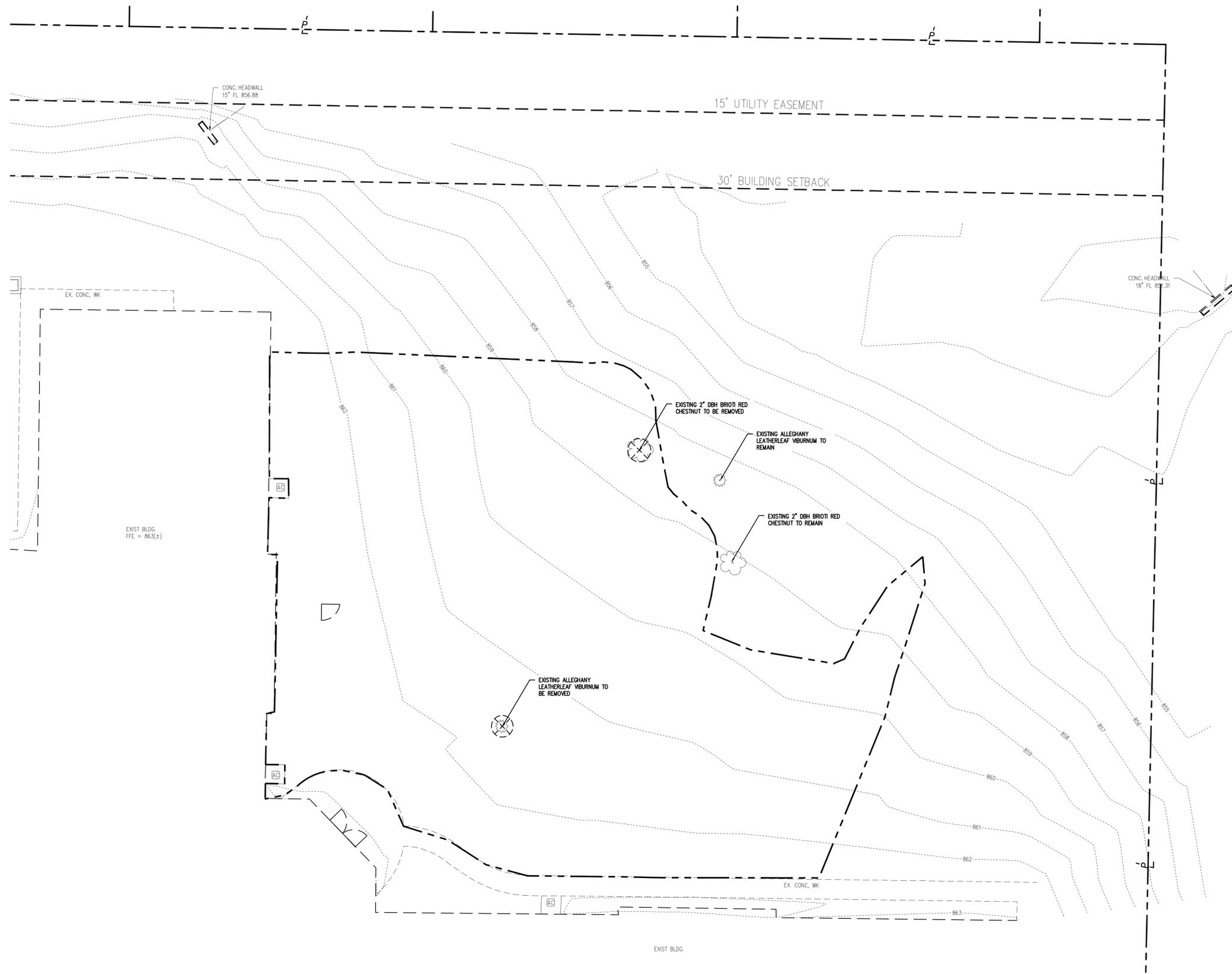
CIVIL ENGINEER
MANNIK SMITH GROUP
23225 MERCANTILE ROAD
BEACHWOOD, OH 44122

INDEX OF SHEETS

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EXISTING CONDITIONS AND DEMOLITION PLAN.....	2
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GENERAL NOTES & DETAILS.....	8-9

NO.	DATE	BY	DESCRIPTION
	08-2018	JAG	PRELIMINARY SUBMITTAL
<p>23225 MERCANTILE ROAD BEACHWOOD, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497</p> <p>PROJECT DATE: APR 2017 PROJECT NO.: T1730018 DRAWN BY: JAG CHECKED BY: MTB</p>			
<p>TECHNICAL SKILL: Mannik Smith GROUP CREATIVE SPIRIT.</p> <p>www.MannikSmithGroup.com</p>			
<p>PREPARED FOR: DMK DEVELOPMENT GROUP 9900 SHELBYVILLE RD, SUITE 800 LOUISVILLE, KY 40222</p>			
<p>TRIPLE CREEK RETIREMENT COMMUNITY BUILDING ADDITION 11230 PIPPIN ROAD COLERAIN, OH 45231</p>			
<p>TITLE SHEET</p>			
1			9

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LEGEND OF EXISTING CONDITIONS

- AIR CONDITIONING UNIT
- TREE
- BUSH
- CATCH BASIN
- PROPERTY LINE
- STORM LINE
- EX. 1 FT. CONTOUR
- EX. 5 FT. CONTOUR

DEMOLITION LEGEND

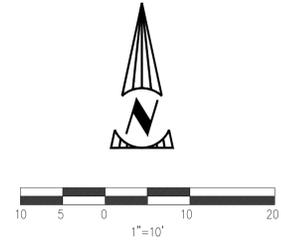
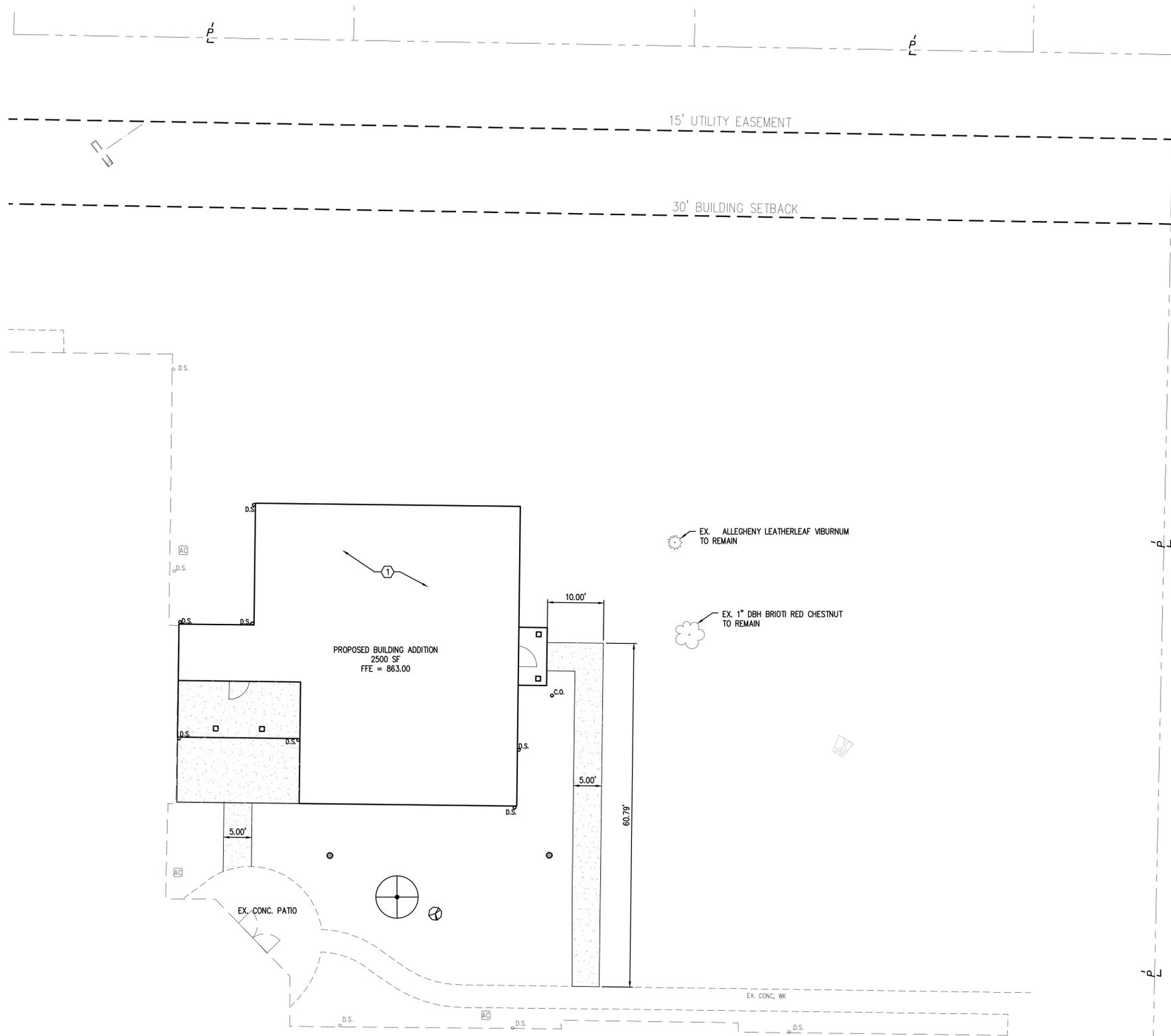
- CLEARING LIMITS
- TREE REMOVAL

DEMOLITION GENERAL NOTES:

- I. A BOUNDARY SURVEY HAS NOT BEEN PERFORMED BY THE MANNIK & SMITH GROUP, INC. EXISTING PROPERTY LINES, EASEMENTS, AND SETBACK LINES ARE PER RECORD DRAWINGS PREPARED BY CASH WAGNER & ASSOCIATES DATED 4/2/2007.

DESCRIPTION PRELIMINARY SUBMITTAL	
DATE 08/2018	BY JAG
NO.	
22258 MERCANTILE ROAD BEACHWOOD, OH 44122 TEL: 216.378.1480 FAX: 216.378.1497	PROJECT DATE: APR 2017 PROJECT NO.: T173018 DRAWN BY: JAG CHECKED BY: MTB
<p>TECHNICAL SKILL. CREATIVE SPIRIT.</p> <p>Mannik & Smith Group www.MannikSmithGroup.com</p>	
PREPARED FOR: DMK DEVELOPMENT GROUP	9000 SHELBYVILLE RD. SUITE 800 LOUISVILLE, KY 40222
TRIPLE CREEK RETIREMENT COMMUNITY BUILDING ADDITION 11230 PIPPIN ROAD COLERAIN, OH 45231	
EXISTING CONDITIONS AND DEMOLITION PLAN	
2	9

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LEGEND OF PROPOSED FEATURES

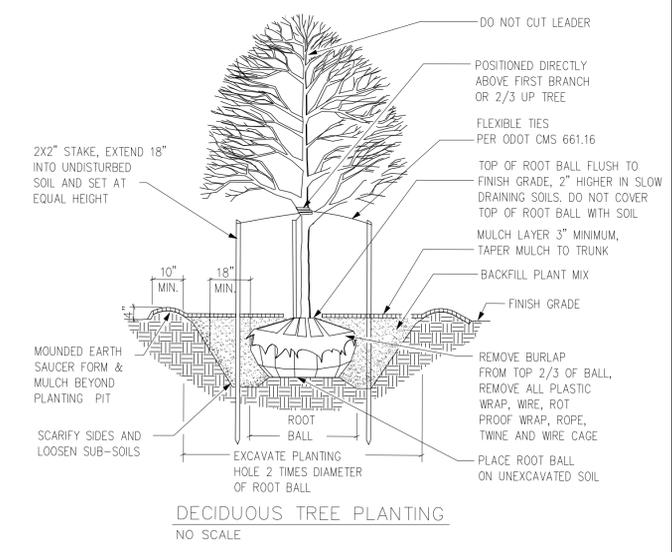
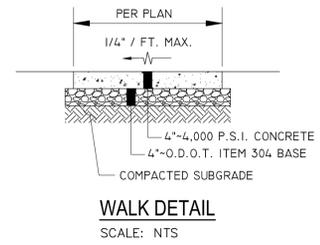
-  CONCRETE SIDEWALK PER DETAIL
-  PROPOSED 2.5" CALIPER DBH DECIDUOUS TREE, AESCULUS X CAMEA 'BRIOTI' (BRIOTI RED CHESTNUT)
-  PROPOSED 24" MIN. HEIGHT DECIDUOUS SHRUB, VIBURNUM X 'ALLEGHANY' (ALLEGHANY LEATHERLEAF VIBURNUM)
-  CODED NOTE

CODED NOTES:

- ① 8 BED SKILLED CARE ADDITION (2,500 SF). BUILDING IS SHOWN FOR INTENT ONLY. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.

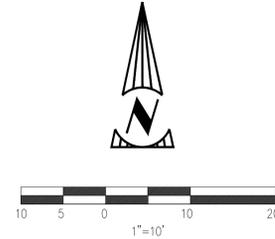
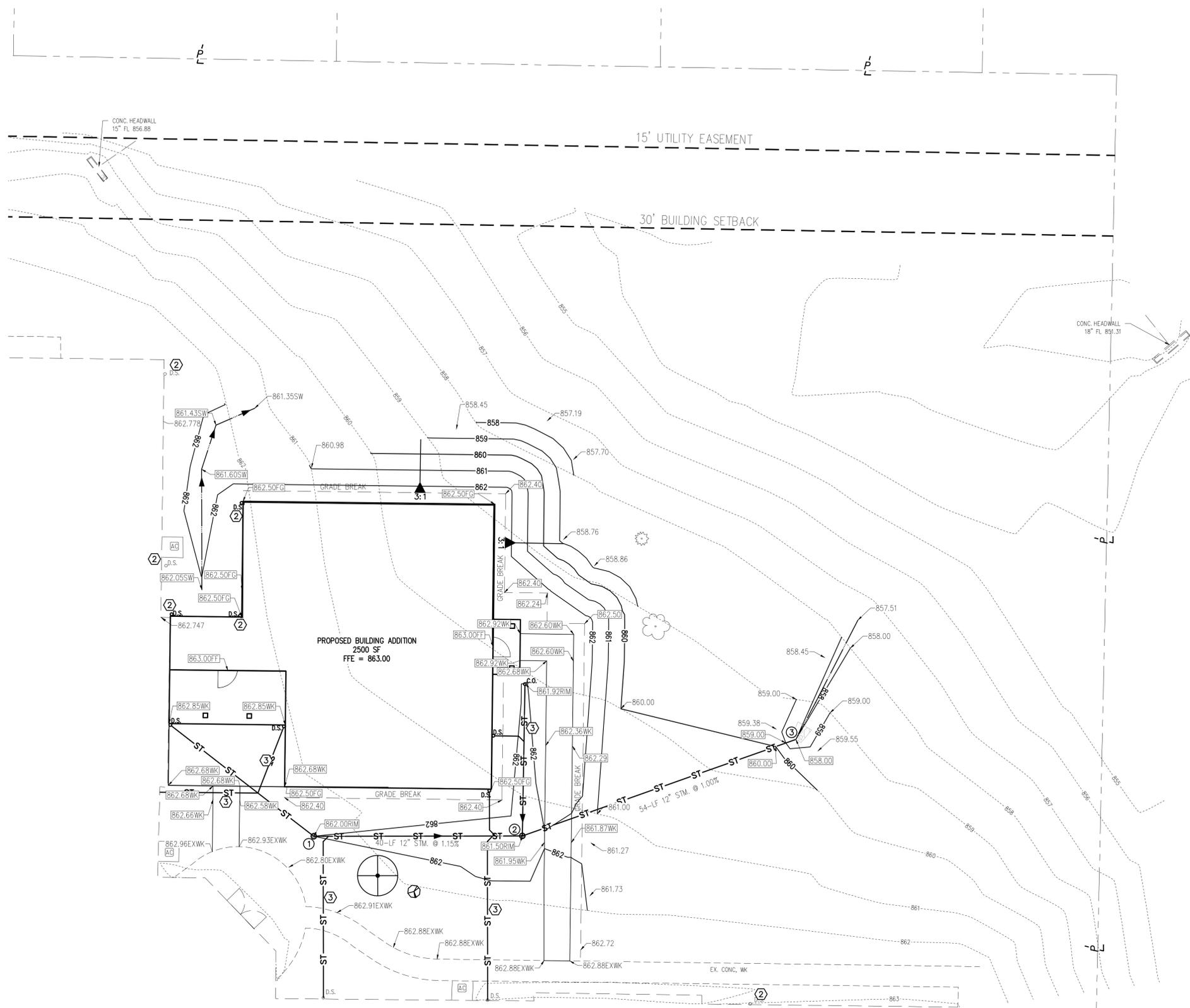
GENERAL NOTES:

- 1. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT/FACE OF CURB UNLESS NOTED OTHERWISE.



NO.	DATE	BY	DESCRIPTION
	08/2018	JAG	PRELIMINARY SUBMITTAL
20226 MERCANTILE ROAD BEACHWOOD, OH 44122 TEL: 216.378.1480 FAX: 216.378.1487		PROJECT DATE: APR 2017 PROJECT NO.: T1730018 DRAWN BY: JAG CHECKED BY: MTB	
TECHNICAL SKILL: CREATIVE SPIRIT.			
Mannik Smith Group www.MannikSmithGroup.com			
PREPARED FOR: DMK DEVELOPMENT GROUP 9000 SHELBYVILLE RD, SUITE 800 LOUISVILLE, KY 40222			
TRIPLE CREEK RETIREMENT COMMUNITY BUILDING ADDITION 11230 PIPPIN ROAD COLERAIN, OH 45231			
SITE LAYOUT PLAN AND SITE DETAILS			
3			
	9		

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PROPOSED GRADING LEGEND

- 99 — PROP. INTERMEDIATE CONTOUR
- 100 — PROP. INDEX CONTOUR
- 99 - EXISTING INTERMEDIATE CONTOURS
- 100 - EXISTING INDEX CONTOURS
- ▲ PROP. SLOPE INDICATOR
- R/V — RIDGE, VALLEY, OR GRADE BREAK AS INDICATED
- 0.00% PAVT/SWALE SLOPE PERCENT
- RUNOFF FLOW DIRECTION
- 000.00 PROPOSED SPOT ELEVATION
- 000.00 EXISTING SPOT ELEVATION
- HP HIGH POINT
- LP LOW POINT
- WK WALK
- PA PAVEMENT
- RIM STRUCTURE RIM
- FF FINISH FLOOR
- ← SWALE CENTERLINE
- Ⓝ CODED NOTE

LEGEND OF PROPOSED UTILITIES

- ST — PROPOSED STORM SEWER
- ⊙ YARD DRAIN
- ⊙ CLEAN OUT
- ⊙ PROPOSED DOWNSPOUT
- Ⓝ PIPE END TREATMENT PER DETAIL

GENERAL GRADING NOTES:

1. GRADING IN THE COURTYARDS ARE PER THE ARCHITECTURAL PLANS

GENERAL UTILITY NOTES

1. 90° BENDS AND CONNECTIONS AT STORM UNDERDRAINS AND SANITARY LATERALS SHALL BE MADE WITH 45° BENDS OR WITH WYE CONNECTIONS.
2. ALL DOWNSPOUTS TO BE PLUMBED, UNLESS OTHERWISE NOTED, TO PROVIDED DOWNSPOUT HEADER PIPES. SEE ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS.

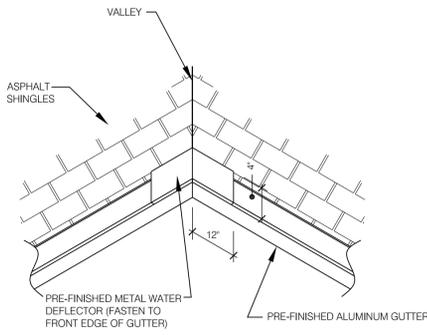
UTILITY CODED NOTES:

- ① SEE ARCHITECTURAL AND MEP PLANS FOR BUILDING UTILITY CONNECTIONS.
- ② DOWNSPOUTS TO BE SPLASHED BLOCKED.
- ③ 6" DOWNSPOUT LATERAL @ 1.00% MIN. SLOPE AND 1.5' MIN. COVER.
- ④ 8" DOWNSPOUT HEADER PIPE @ 1.00% MIN. SLOPE AND 1.5' MIN. COVER.

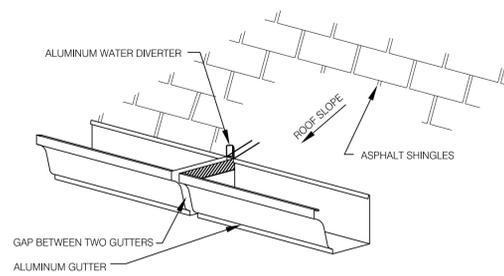
PROPOSED STORM STRUCTURE SCHEDULE

- | | |
|--|---|
| ① YARD DRAIN
N 9874.06
E 10108.55
RIM 862.00
FL 859.00 ~ 12" E
FL 859.00 ~ 8" W | ② YARD DRAIN
N 9874.12
E 10147.52
RIM 861.50
FL 858.54 ~ 6" N
FL 858.54 ~ 12" THRU |
| ③ PIPE END TREATMENT PER DETAIL
N 9892.09
E 10198.67
FL 858.00 ~ 12" | |

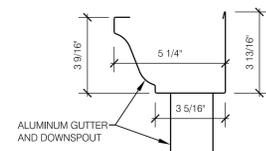
NO.	DATE	BY	DESCRIPTION
	02/2018	JAG	PRELIMINARY SUBMITTAL
<p>20226 MERCANTILE ROAD BEACHWOOD, OH 44122 TEL: 216.378.1480 FAX: 216.378.1487</p>			
<p>PROJECT DATE: APR 2017 PROJECT NO.: TT730018</p>		<p>DRAWN BY: JAG CHECKED BY: MTB</p>	
<p>TECHNICAL SKILL: Mannik Smith Group www.MannikSmithGroup.com</p>			
<p>PREPARED FOR: DMK DEVELOPMENT GROUP 9000 SHELBYVILLE RD, SUITE 800 LOUISVILLE, KY 40222</p>			
<p>TRIPLE CREEK RETIREMENT COMMUNITY BUILDING ADDITION 11230 PIPPIN ROAD COLERAIN, OH 45231</p>			
<p>GRADING AND UTILITY PLAN</p>			
4			
			9



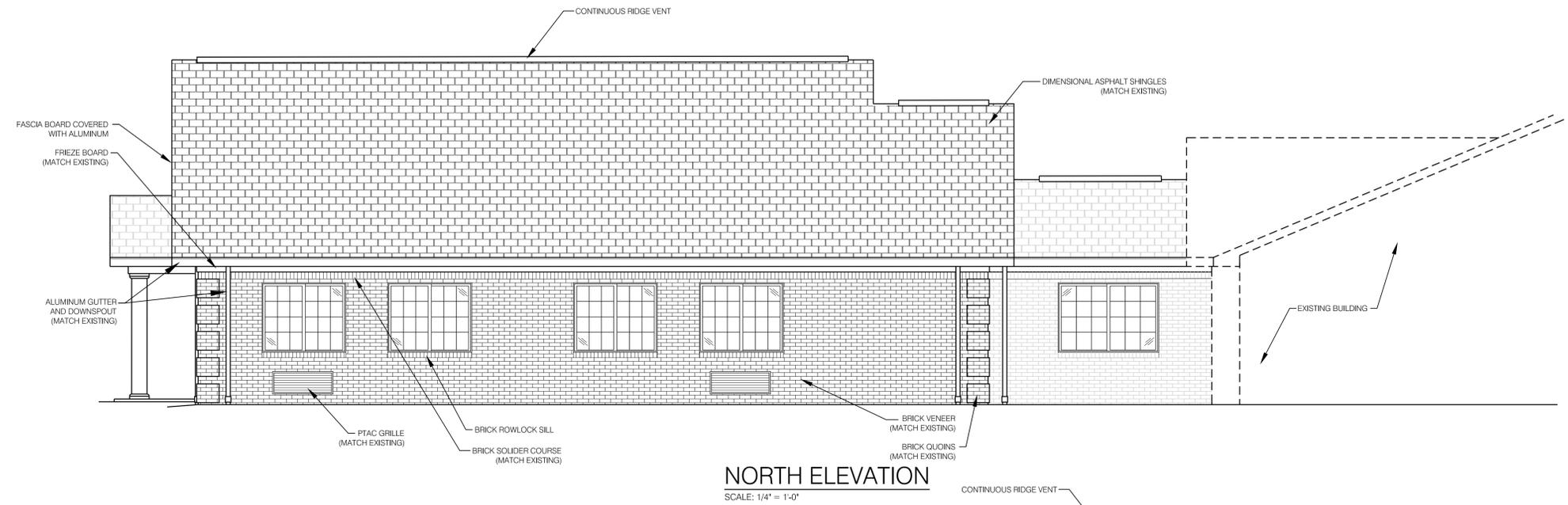
WATER DEFLECTOR DETAIL
NOT TO SCALE



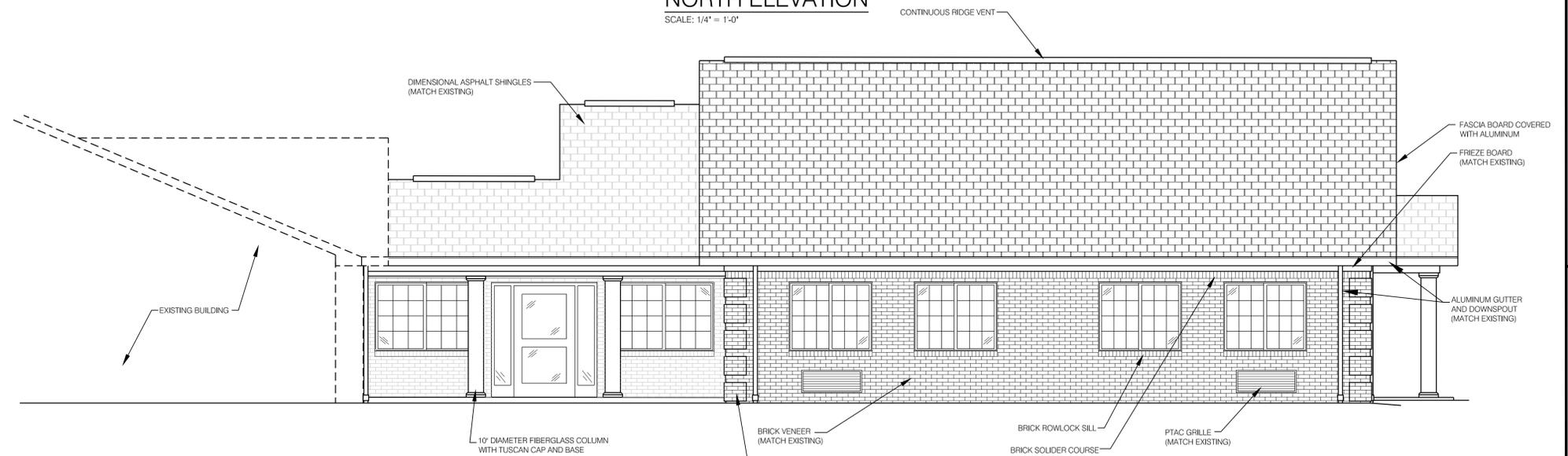
TYPICAL GUTTER EXPANSION JOINT
NOT TO SCALE



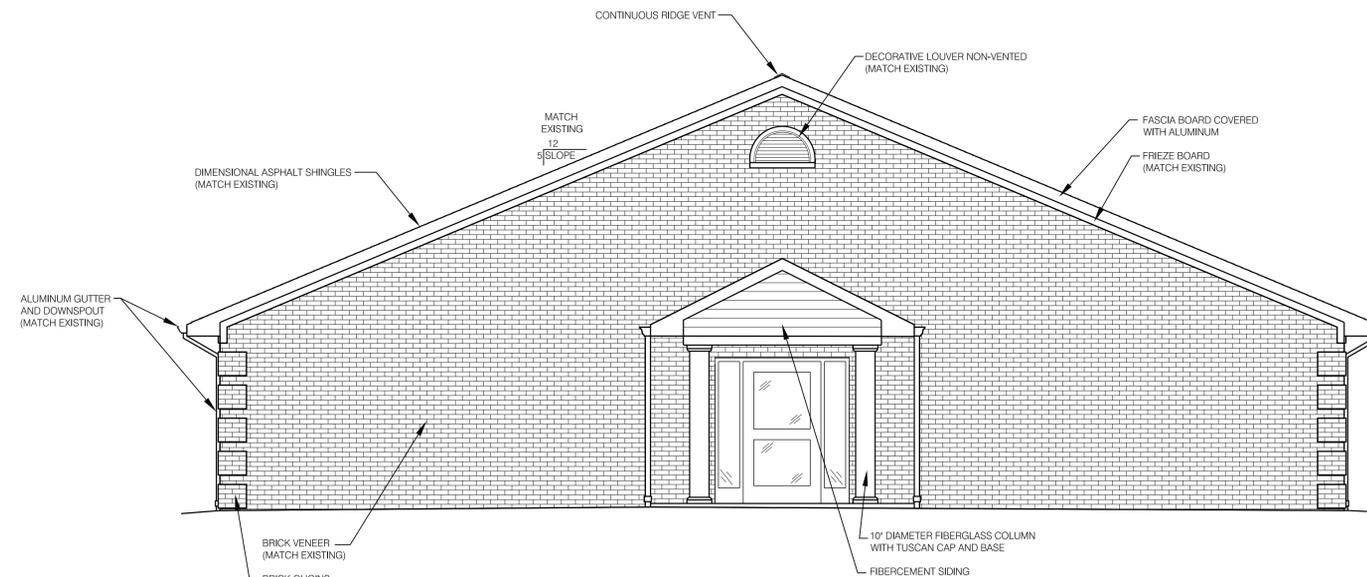
TYPICAL GUTTER DETAIL
SCALE: 3" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
PAINT ALL METAL ROOF CAPS, INTAKE HOODS
AND EXHAUST HOODS. SEE SPECIFICATIONS
(VERIFY AMOUNT WITH HVAC CONTRACTOR)

NOTE:
BRICK EXPANSION JOINTS SHALL NOT
EXCEED 40'-0" MAXIMUM SPACING

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design@udassoc.com
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TRIPLE CREEK RETIREMENT COMMUNITY
CINCINNATI OHIO

DATE	DATE
PROJECT NO.	CH1805
SHEET NO.	A1.5 OF 0

PRELIMINARY

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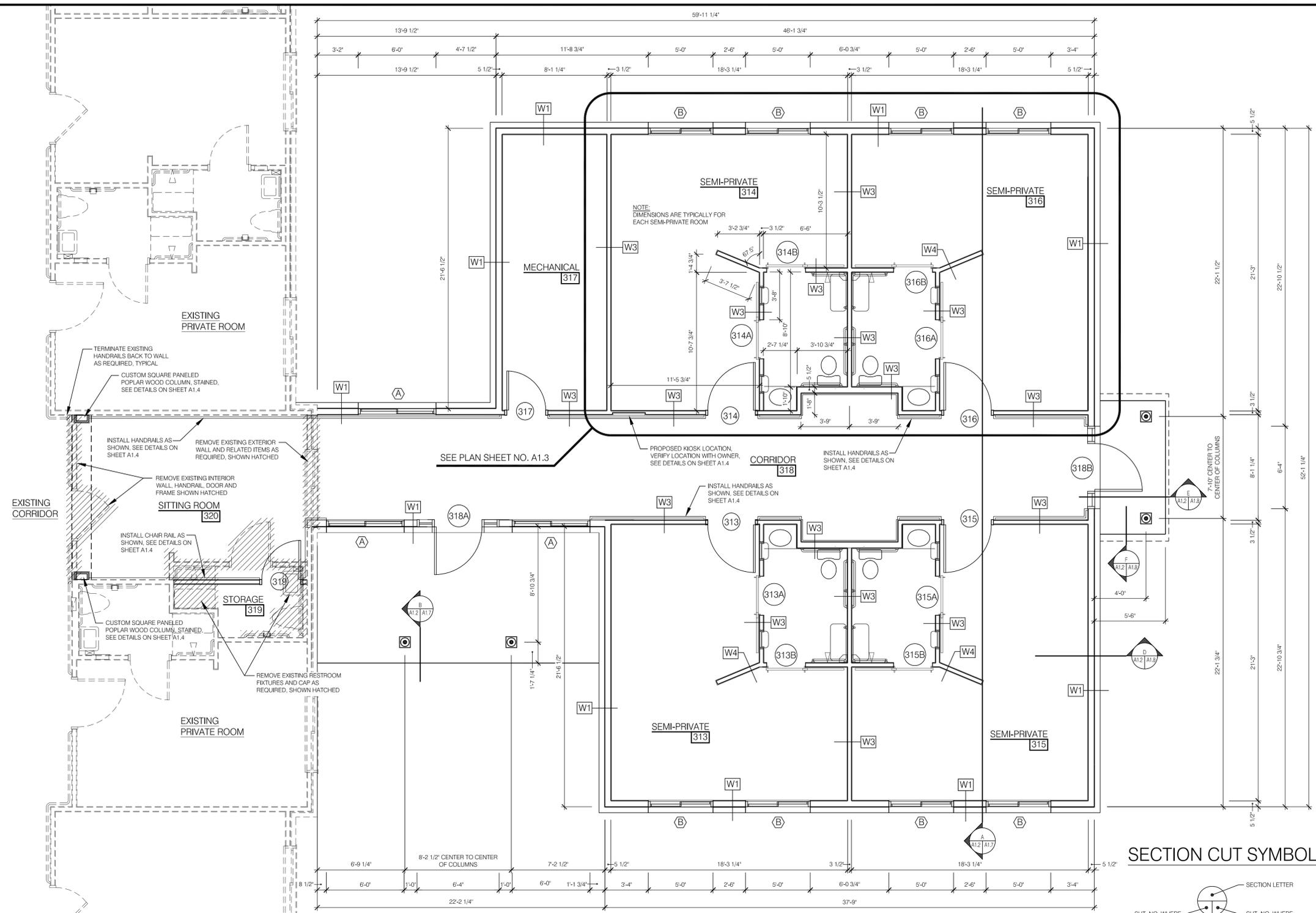
TRIPLE CREEK RETIREMENT COMMUNITY
 CINCINNATI OHIO

DATE	DATE
PROJECT NO.	CH1805
SHEET NO.	A1.2 OF 0
SCALE	1/4" = 1'-0"

- Notes:**
- Dimensions shown are from stud to stud.
 - Smoke barrier walls extend from exterior wall to exterior wall and floor to underside of roof deck and overhangs.
 - Provide a minimum of 1/8" per foot floor pitch at all shower floors in residents rooms and in central shower room.
 - Vertical drywall expansion joints shall be provided at all walls exceeding 40'-0" in length. Drywall expansion joints shall be spaced at approximately equal intervals with the wall length (Not exceeding 30'-0"). Expansion joints can be located above doorways at either side of door.
 - Provide properly installed fiberglass noise barrier insulation in all interior walls unless noted otherwise.
 - See Sheet A1.8 for Equipment Supply and Work Schedule.

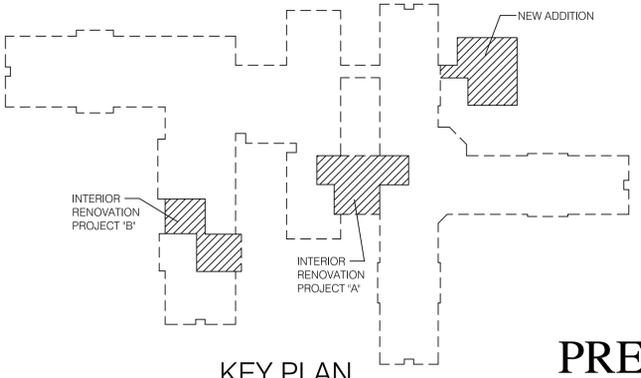
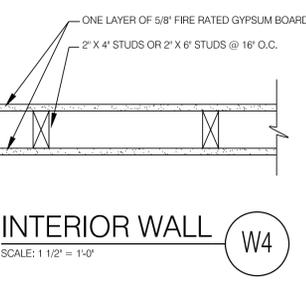
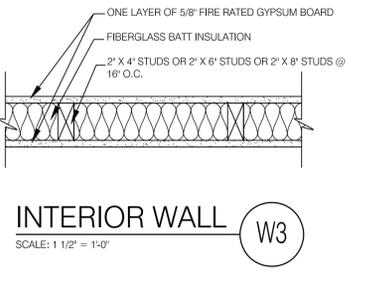
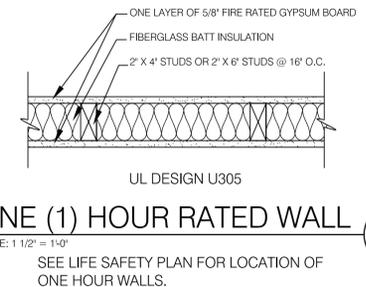
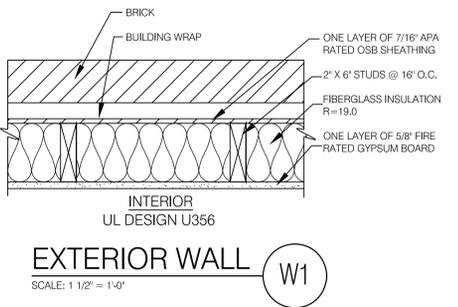
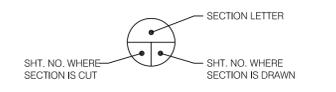
- Provide Air Tight Construction for the Building Envelope**
- Sealing exterior wall construction before drywall is installed.
 - Caulk at the following, all horizontal and vertical wood to wood connections.
 - Between Sill plate and concrete floor.
 - Abutting studs at corners.
 - Between all abutting cripple studs, jack studs and vertical wall studs.
 - Between headers and adjacent framing members.
 - On each side of studs where exterior wood sheathing or insulation board splice occurs.
 - Caulk between threshold and concrete floor.
 - Seal between window and exterior door rough openings with backer rod and caulk, or use non-expanding latex-base spray foam that will not pinch jambs or void window warranties.
 - Caulk around all electrical and plumbing penetrations, any type of piping penetrations and any type of penetration through the top and bottom plates at both interior and exterior walls.
 - Sealing exterior walls and ceilings after drywall is installed.
 - Seal around all electrical wall penetrations (switch boxes, out lets, electrical panels, etc.) through drywall with caulk or foam.
 - Seal around all electrical ceiling penetrations (light fixture boxes, UL-approved airtight IC-rated recessed can fixtures, bath and kitchen ventilation fans, etc.) through drywall with caulk or foam.
 - Seal around all plumbing penetrations through drywall with caulk or foam.
 - Seal around all HVAC penetrations through drywall with caulk or foam.

- GENERAL NOTES**
- The contractor shall furnish all necessary labor, supervision, materials, appliances, equipment and services necessary to provide any work required to complete all portions of work involved in this project and provide general conditions as required for the project.
 - Drawings are schematic and exact conditions must be verified at the site. Any material conflicts between drawings and actual conditions shall be brought to the attention of the designer for resolution before work continues.
 - All work shall conform to federal, state, and local laws, codes and ordinances that apply to this class of work.
 - Do not unreasonably encumber the building with materials and equipment.
 - Do not load structures with weight that will endanger the structure.
 - Assume full responsibility for protection and safe-keeping of materials and equipment stored on site and within the building.
 - Confine operations to areas within contract limits.
 - Access to construction areas by workmen and subcontractors to be coordinated with the owner. Parking is available on site and employees, suppliers and subcontractors shall park their vehicles at designated areas only.
 - Copies of permits, approved shop drawings, and complete set of contract drawings and specifications, marked up-to-date, with all revisions shall be kept on site.
 - The contractor shall arrange for, establish and maintain, a space to contain approved rubbish containers and remove debris at the end of each work day.
 - The contractor shall provide adequate fire extinguishers within the premises while under construction.
 - The contractor shall coordinate requirements for construction parking and scheduling delivery of materials.
 - Contractors shall follow material manufacturer's recommendations for storage and installation of their products. Any deviation from manufacturer's directions shall be made at the contractor's risk.
 - Use care not to damage adjoining surfaces and work scheduled to remain. Damages to surfaces scheduled to remain or adjoining work shall be repaired, patched, or replaced to the satisfaction of the owner at the expense of the contractor that caused the damage.
 - All patching shall be consistent with adjoining surfaces.
 - The contractor shall provide the owner with all documentation of approvals, bonds, certificates of insurance, names, addresses, and telephone numbers as requested by the owner.
 - The contractor shall furnish and install all miscellaneous support forms, blocking, hangers, fittings, etc. not necessarily shown, but required to fully complete the work.
 - All work shall be performed by licensed contractors employing skilled craftsmen and shall be of the highest quality in accordance with the best practices of each respective trade. The contractor shall work in harmony with owner's representative and contractors.
 - All cabinetry and millwork shall meet or exceed the architectural woodworking institutes standards and specifications for custom grade case goods.
 - Contractor shall provide 2x6 wood blocking in walls as required for supporting cabinets, shelving, handrails, toilet & bath accessories etc.



FLOOR PLAN
 SCALE: 1/4" = 1'-0"

SECTION CUT SYMBOL



PRELIMINARY