

COLERAIN TOWNSHIP ZONING COMMISSION
Regular Meeting
Tuesday, December 18, 2018 - 6:00 p.m.

Colerain Township Government Complex
4200 Springdale Road - Cincinnati, OH 45251

1. Meeting called to order.
Pledge of Allegiance.
Roll Call.
2. Approval of Minutes: November 20, 2018 Meeting.
3. Public Address: None.
4. Final Development Plan: None.
5. Public Hearings:
ZA8-1988/ZA2016-09
Major Amendment to a Preliminary Development Plan
10270 Colerain Avenue | Speedway
6. Informal Concept Review: None.
7. Old Business: None.
8. New Business: None.
9. Administration: None.
10. Announcements: None.
11. Next Meeting: January 15, 2019.
12. Adjournment.



4200 Springdale Road
Colerain Township, OH 45251

STAFF REPORT: Major Modification to a Preliminary
Development Plan
Case #ZA1988-09 & ZA2016-09
10270 Colerain Avenue
December 19, 2018

PREPARED BY: Marty Kohler
Senior Planner

Request:

Major Modification to two approved Preliminary Development Plans in an existing “PD-I” Planned Industrial district. The proposal includes portions of two separate Planned Development Districts, so the proposed development requires the modification of both districts.

Purpose:

To raze the existing Speedway gas station to construct a new 4,608 square-foot convenience retail store with 24 parking spaces including eight automobile fueling stations and three commercial fueling lanes for truck customers.

Applicant/Owner:

Jonathan Wocher, McBride Dale Clarion (applicant); Speedway LCC & Struble Road Development Company (owners)

Location:

10270 Colerain Avenue; on the south side of the newly constructed Generation Drive and north of the Colerain Towne Center. The property is located at the north side of the Colerain Towne Center development and the south side of the Struble Road Business Park development.

Site Description:

Tract Size: 3.03 acres
Frontage: Approximately 280 feet on Colerain Avenue and approximately 550 feet on Generation Drive
Topography: Relatively flat but slopes downward to the east
Existing
Dvlpmt: Speedway Gas Station and vacant land

Surrounding Conditions:

<u>Zone</u>	<u>Land Use</u>
North: “PD-I” Planned Industrial	Rumpke Office Building
South: “PD-B” Planned Business	Colerain Towne Center (retail)
East: “PDI” Planned Industrial	Vacant land
West: “R-3” Residence	Single-family homes

Case History:

The existing speedway gas station parcel currently located in the Colerain Towne Center Planned District (PD), was part of case 8-88 Colerain – Commercial Park which was a rezoning of a 94-acre triangular area bounded by I-275, Colerain Avenue, and Struble Road from residential to retail business and light industry. A Major Modification was approved in 1996, reducing a portion of the office and light industrial development and expanding the retail complex. The modification replaced 330,000 sq. ft. of professional and office/warehouse space with 175,000 sq. ft. of retail space. The industrial zoning classification for the property pre-dates the current zoning standards which does not allow for retail convenience stores in industrial districts. Fuel sales is currently a permitted use in the industrial district.

The rear portion of the site in question is part of the Struble Road Business Park PD (case Colerain ZA 2016-09), where in January 2017, a substantial modification as well as a zone amendment from “B-3” Commerce District to “PD-I” Planned Industrial was approved. The modification was approved to construct two office buildings with a total of 93,600 sq. ft. and seven office/warehouse buildings with a total of 286,500 sq. ft., as well as an internal roadway connecting to Colerain Avenue and Struble Road (now known as Generation Drive).

A more recent Final Development Plan was approved by Zoning Commission in June 2018 for the Colerain Towne Center on the property immediately adjacent to the south of the subject property. This plan was for a new AutoZone store which is currently under construction.

Proposed Use:

The applicant is proposing to consolidate two properties, one in each Planned Development District, for a total 3.03 acres to raze the existing Speedway store in order to construct a new 4,608 square-foot Speedway retail store. The building would be single-story with a shingled pitch roof. The applicant has proposed a small outside eating area with a dumpster enclosure and 24 parking spaces. There are eight fuel dispenser islands proposed to be located in the front (western side of the store) and three commercial fueling lanes for trucks behind (eastern side of the store). There would be a freestanding sign on the intersection of Colerain Avenue and the newly constructed Generation Drive.

The property would be accessed with a driveway in the same location as the current south driveway to the rear service entry to the Colerain Towne Center and three access driveways to the north on Generation Drive. Entrance-only and exit-only directional signs are proposed at Generation Drive for commercial truck use, and separate entrances are being proposed for the convenience store automobile fueling stations for a total of four total curb cuts. A new traffic signal is being constructed at the intersection of

Generation Drive and Raeanne Drive with Colerain Avenue to serve the entirety of the new 50 acre industrial park to the north and east of the proposed development.

The existing Speedway store and gas pumps are zoned “PD-I” Planned Industrial District and are part of the Colerain Town Center PD. The additional 1.53 tract of land to be purchased to the west and to be included in this development is also zoned “PD-I”, however, this portion of the site is part of the Struble Road Business Park PD. The applicant is proposing that the entire 3.03 acre site of the newly constructed building be included in the Struble Road Business Park. This request is being considered a Major Modification as the approved Preliminary Development Plan for the Struble Road Business Park did not include any building or site details for this area. This modification will be processed similar to a zone change request with a review and recommendation by the Regional Planning Commission and the Township Zoning Commission, with the final vote by the Township Trustees.

The Colerain Township Trustees have an option to purchase the property immediately to the east of the proposed Speedway on Generation Drive for the purpose of constructing a new fire station. This station would be staffed 24 hour per day, 7 days per week. There is some concern that the semi-truck parking and fueling will create excessive noise at the proposed fire station. The Fire Department has requested that vegetative screening be required along the east property line in accordance with the planting standards in Section 14.5.2(b) of the Zoning Resolution. Additional planting and screening can also be planted on the Township property to further buffer the truck fueling from the fire station.

Conformance with Comprehensive Plan:

The proposed project is located within the Banklick Creek Character Area which is identified as an opportunity for mixed use employment creation. The plan calls for retail uses along Colerain Avenue south of Struble Road and light industrial uses along Struble Road. This project will contain a commercial/retail use of fuel sales. The retail use will be oriented toward Colerain Avenue and the more industrial large-truck fueling will be oriented towards Generation Drive.

Conformance with Zoning Regulations:

The site plan appears to meet the minimum standards of the Colerain Township Zoning Resolution and the “PD-I” Planned Industrial District with the following exceptions.

Table 9-1 – Planned Development Use Table

This table indicates that uses permitted in the PD-I district shall be the same as those permitted in the I-1 Industrial District, and that uses not specifically listed as permitted may be approved as part of a preliminary development plan. The I-1 Industrial district lists Automotive Fuel Services as a permitted use. Retail/convenience stores are specifically not permitted in the I-1 Industrial district. The convenience retail

commercial land use component of the Planned District is an exception that is specifically approved as part of this Planned Development District.

Table 9-2 – Common Open Space Requirements

This section requires 15% common open space for sites zoned “PD-I”. The submitted plans do not indicate an official dedication of common open space, nor is there an indication of the Impervious Surface Ratio. Staff recommends that the applicant submit plans with this information in order to determine consistency with the Colerain Township Zoning Resolution.

Sections 13.3.2 (A) – Required Number of Spaces

This section states that for any automotive fuel sales use, 4 spaces are required per 1,000 square feet, and 1 space per fuel pump or service bay. The applicant has proposed a total of 24 parking spaces for the entire development. Staff finds that the proposed parking amounts meet the proposed fueling station’s requirements per the Colerain Township Zoning Resolution and is sufficient for the use.

Compliance with Zone Amendment Conditions

The previous Zone Amendment, case 2016-09, included the area where the commercial fueling lanes for truck customers are proposed but did not include the existing Speedway site. The applicant is requesting that the existing site, as well as the adjacent parcel to include the commercial fueling lanes, be included in the Struble Road Business PD.

Compliance with the previous zone amendment would be required.

OTHER AGENCY REPORTS

Hamilton County Regional Planning Commission:

On December 6, 2018, the Hamilton County Regional Planning Commission voted unanimously to recommend approval of the Major Modification to a Preliminary Development Plans with conditions:

Conditions:

1. That all conditions approved as part of case Colerain ZA2016-09 shall remain in effect for the Zone Amendment Area.
2. That a common open space plan in compliance with the Zoning Resolution shall be submitted as part of the Final Development Plan.
3. That the site plan shall be revised to include the required 60 feet of right-of-way from the centerline of Colerain Avenue in accordance with the Hamilton County Thoroughfare Plan.

Hamilton County Storm Water & Infrastructure

- No response

Colerain Township Fire Department

- No response

Hamilton County GIS

- No response

Hamilton County Soil & Water Conservation District

- E-mail from Chey Alberto attached.

ODOT

- No response

Hamilton County Engineer

- Letter from Eric Beck attached

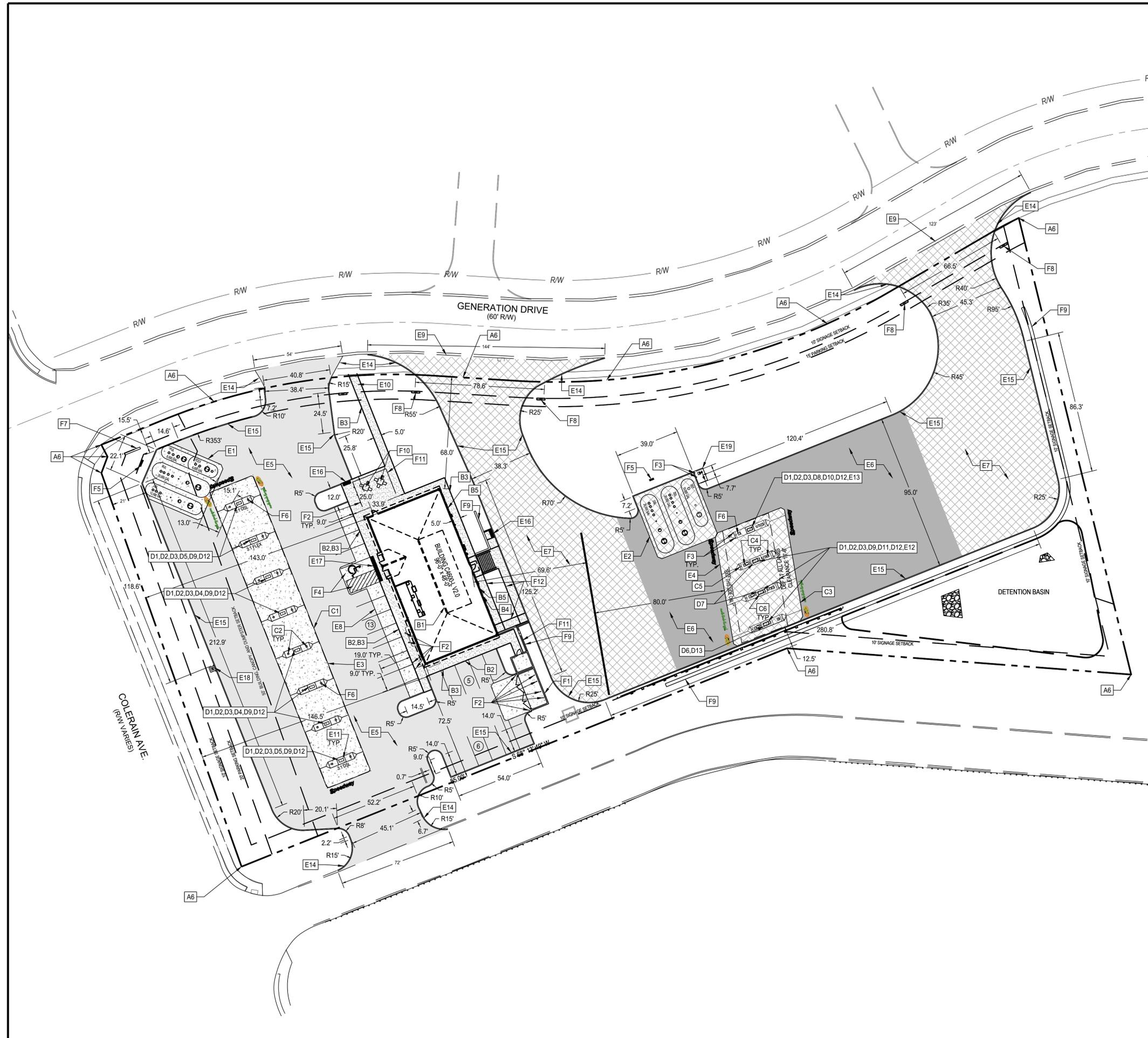
Metropolitan Sewer District

- Letter from Steven Parker attached

RECOMMENDATION:

Staff recommends **APPROVAL** of the Major Modification to the Preliminary Development Plan with the following conditions:

1. That all conditions approved as part of case Colerain ZA2016-09 shall remain in effect for the Zone Amendment Area.
2. That a common open space plan in compliance with the Zoning Resolution shall be submitted as part of the Final Development Plan. This can be accomplished within the Struble Road Business Park.
3. That the site plan shall be revised to include the required 60 feet of right-of-way from the centerline of Colerain Avenue in accordance with the Hamilton County Thoroughfare Plan. The streetscape landscaping will need to be adjusted to accommodate the additional right-of-way on the Final Development Plan.
4. That buffer landscaping be provided along the east property line in accordance with Section 14.5.2(b) of the Zoning Resolution.
5. That signage submitted with the Final Development Plan comply with the style of the Rumpke office building to the north.
6. That a final development be submitted and approved by Zoning Commission addressing such issues as signage, buffering, landscaping, architectural design, etc.



- PROPOSED LEGEND**
- PROPOSED CURB
 - FENCE
 - NORMAL STRENGTH ASPHALT PAVEMENT PER SPEEDWAY STANDARDS
 - HIGH STRENGTH ASPHALT PAVEMENT PER SPEEDWAY STANDARDS
 - NORMAL STRENGTH CONCRETE PAVEMENT PER SPEEDWAY STANDARDS
 - HIGH STRENGTH CONCRETE PAVEMENT PER SPEEDWAY STANDARDS
 - CONCRETE SIDEWALK PER SPEEDWAY STANDARDS
 - RIP RAP PAVEMENT PER SPEEDWAY STANDARDS
- EXISTING LEGEND**
- CURBING TO REMAIN
 - FENCE
 - SETBACKS

NO.	DATE	REVISIONS
1	07/20/18	INITIAL PLAN SUBMITTAL
2	08/08/18	CE PLAN SUBMITTAL
3	08/10/18	CE PLAN SUBMITTAL
4	10/23/18	FE PLAN SUBMITTAL

PLOT PLAN
REBUILD
10270 COLERAIN AVENUE
HAMILTON COUNTY
CINCINNATI, OH

CONTRACTOR SHALL REVIEW THE COMPLETE DRAWING SET AND NOTIFY THE DESIGN PROFESSIONAL IN WRITING PRIOR TO CONSTRUCTION, IF ANY DISCREPANCIES ARE FOUND WITHIN THE DRAWINGS OR WITH ACTUAL FIELD CONDITIONS.



BLDG TYPE & VERSION: C4600-V2.0
PROJECT ID NO.: 67507
SCALE: 0 15 30
GRAPHIC SCALE IN FEET

DESIGN TEAM	DATE
DGNR. P. WEIDNER	10/23/18
P.MGR. E. BOYD	10/23/18
R.VWR. J. DE ZORT	10/23/18

DRWS. NO. 9336-CS

A. GENERAL NOTES

- ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- RESTORE TO ORIGINAL OR BETTER CONDITION ALL AREAS DISTURBED BY CONSTRUCTION. UPON COMPLETION, POWER WASH ALL PAVING TO OWNER'S SATISFACTION.
- SHOW ALL MODIFIED PIPING, CONDUIT RUNS, UTILITIES AND ANY MODIFICATIONS MADE TO THE ORIGINAL DRAWINGS ON "AS-BUILT" PRINT AND TURN OVER TO OWNER'S REPRESENTATIVE UPON COMPLETION.
- TURNOVER MANUAL: ON THE DAY OF THE "TURNOVER" THE CONTRACTOR WILL PROVIDE (ONE) COPY OF THE COMPLETION MANUALS.
- OWNER SHALL PROVIDE AND THE CONTRACTOR SHALL IMMEDIATELY INSTALL AND MAINTAIN THROUGH OUT CONSTRUCTION (2) TEMPORARY BANNER SIGNS ANNOUNCING SPEEDWAY COMING SOON. THE SIGN SHALL DIRECT CUSTOMERS TO NEAREST SPEEDWAY(S) IF APPLICABLE. CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO COORDINATE WITH SPEEDWAY'S VENDOR TO ERECT THE ID SIGN(S) AS EARLY IN THE CONSTRUCTION PROCESS AS POSSIBLE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF THE ENTIRE SITE. THE PROPERTY CORNERS SHALL BE MARKED BY OWNER AND PROTECTED AND MAINTAINED BY CONTRACTOR.

B. BUILDING DETAILS

- CONSTRUCT C-STORE BUILDING #C4600, QUIK BRK PER DRAWINGS LISTED. HVAC SYSTEM SHALL BE GAS AND BE ROOF MOUNTED. THE FOLLOWING OPTIONS SHALL BE INSTALLED: ALLUCOBOND SCREENING PANELS ON ROOFTOP HANDRAIL.
- PAINT THE ENTIRE VERTICAL FACE OF THE SIDEWALK HIGHWAY YELLOW (1600014) INCLUDING 4" ONTO THE TOP OF SIDEWALK EXCEPT WHERE GRADES ARE FLUSH AT HANDICAP RAMPS OR ADJACENT TO NON-PAVED SURFACES.
- CONSTRUCT BUILDING SIDEWALK AS SHOWN ON PLOT PLAN AND PER DRAWING STD-CPC-1. CONTRACTOR SHALL FOLLOW PLAN DETAILS FOR SIDEWALK REINFORCEMENT IN FRONT OF BUILDING ACCESS POINTS.
- INSTALL SECOND READERBOARD WALL SIGN ON EXTERIOR OF BUILDING.
- EXTEND BUILDING MATERIAL ALONG EAST SIDE OF BUILDING SO NO STEEL WALL MATERIAL IS EXPOSED. SEE GRADING PLAN OR ELEVATIONS.

C. CANOPY DETAILS

- COORDINATE WITH VENDOR TO INSTALL NEW AUTO CANOPY PER MCGEE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR FOOTERS AND INSTALLING VENDOR SUPPLIED ANCHOR BOLTS.
- USE AUTO CANOPY COLUMN FOUNDATIONS SIZE (16) 3'X 4'X 5' FOR BIDDING PURPOSES IF AUTO CANOPY DRAWINGS ARE NOT AVAILABLE IN TIME FOR BIDDING. AUTO CANOPY DRAWINGS WILL BE AVAILABLE FOR CONSTRUCTION.
- COORDINATE WITH VENDOR TO INSTALL NEW COMMERCIAL FUELING LANE CANOPY PER MCGEE DRAWINGS.

- USE COMMERCIAL FUELING LANE CANOPY COLUMN FOUNDATIONS SIZE (8) 4'X 4'X 7' FOR BIDDING PURPOSES IF COMMERCIAL FUELING LANE CANOPY DRAWINGS ARE NOT AVAILABLE IN TIME FOR BIDDING. COMMERCIAL FUELING LANE CANOPY DRAWINGS WILL BE AVAILABLE FOR CONSTRUCTION.
- INSTALL NEW HEAT TRACE CABLE THERMOSTAT CONTROLLER ON THE TRUCK CANOPY COLUMN OR UNDER THE BUILDING SOFFIT OUT OF DIRECT SUNLIGHT. (1) 3/4" CONDUIT TO BE INSTALLED FROM NEW THERMOSTAT TO BUILDING WIRE WAY.
- INSTALL (4) 3/4" CONDUIT WITH PULLSTRING TO TRUCK CANOPY, STUBBED ABOVE DECKING IN CENTER OF CANOPY, FOR FUTURE INSTALL OF SMARTQ RFID READER.

D. DISPENSER DETAILS

- THE CONTRACTOR IS RESPONSIBLE FOR PURGING OF THE FUELING SYSTEM NECESSARY AT START-UP AND DISPENSER CALIBRATION. THE OWNER SHALL PAY FOR (1) THIRD-PARTY LINE TEST FOR EACH PRODUCT LINE AFTER PURGING IS COMPLETE. COST OF ANY ADDITIONAL DISPENSER CALIBRATIONS AND/OR LINE TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PURGE SYSTEM PER DISPENSER MANUFACTURER'S INSTRUCTIONS AND OWNER'S SPECIFICATIONS. ALL TESTING TO BE COORDINATED WITH SPEEDWAY COMPLIANCE DEPARTMENT. AFTER PURGING IS COMPLETE, CONTRACTOR SHALL REMOVE AND DISCARD SCREENS AND FACTORY FILTERS AND INSTALL NEW FILTERS (MODEL NOTED BELOW), FURNISHED BY OWNER. INSTALLATION DATES SHALL BE CLEARLY MARKED ON FILTER BY CONTRACTOR. FILTER MODELS ARE (A) AUTO; PETROCLEAR 40510A-AD (B) AUTO-DSL AND K-1; PETROCLEAR 40510W-AD (C) FLEX; CIMTEK 70991 (D) HIGHFLOW DSL; PETROCLEAR 51110W. SPEEDWAY'S MAINTENANCE DEPARTMENT SHALL INSTALL DISPENSER FACE LABELS.
- THE CONTRACTOR SHALL COMPLETE THE WAYNE PROVIDED START-UP CALIBRATION REPORT FORM "W2940136" PRIOR TO START-UP. THE 0.1 TEST MUST BE COMPLETED VIA THE ATG PRIOR TO OPENING FUEL SALES. FORM "917653-003" SHALL BE COMPLETED BY WAYNE'S AUTHORIZED SERVICE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH SPEEDWAY'S PREFERRED AUTHORIZED SERVICE CONTRACTOR (ASC) FOR TRIPS AS FOLLOWS:

TRIP	WAYNE ASC RESPONSIBILITIES	FINANCIAL RESPONSIBILITY
1	PREP DISPENSERS FOR CONTRACTOR TO PURGE	WAYNE
	PROGRAM VEEDER ROOT AUTOMATIC TANK GAUGE MONITORING SYSTEM	
	REVIEW CONTRACTOR'S PURGE WORK	
2	INSTALL EHV KITS	WAYNE
	REVIEW CONTRACTOR'S COMPLETED WAYNE START-UP CALIBRATION FORM "W2940136"	
	COMPLETE FORM "917653-003" (PRE POS INTEGRATION)	
3	COMPLETE FORM "917653-003" (POST POS INTEGRATION)	WAYNE
4	POS INTEGRATION WITH SPEEDWAY IT ANALYST	WAYNE
	OPENING DAY SUPPORT (SPEEDWAY REQUIREMENT)	CONTRACTOR

- THE CONTRACTOR WILL BE RESPONSIBLE TO HAVE, AT A MINIMUM, THE SITE SUPERINTENDENT, CERTIFIED ELECTRICIAN, AND PETROLEUM START-UP CONTRACTOR ON-SITE AT OPENING FOR A MINIMUM OF (1) HOUR TO ENSURE PROPER OPERATION OF THE FUELING SYSTEM.
- INSTALL (5) NEW WAYNE 3 PRODUCT (3+0) HIGH HOSE DISPENSER WITH CARD READER, INSTALL (10) HOSES, NOZZLES, SWIVELS AND BREAKAWAY FOR GASOLINE DISPENSERS. PRODUCT PIPING LINE-UP AND FRONT SIDE "A" (F.S."A") OF DISPENSERS SHALL BE AS SHOWN.

- INSTALL (3) NEW WAYNE 4 PRODUCT (3+1) HIGH HOSE DISPENSER WITH CARD READER, INSTALL (6) HOSES, NOZZLES, SWIVELS AND BREAKAWAY FOR GASOLINE DISPENSERS, (4) HOSES, NOZZLES, SWIVELS AND BREAKAWAY FOR DIESEL DISPENSERS AND (2) HOSES, NOZZLES, SWIVELS AND BREAKAWAY FOR FLEX DISPENSER(S). PRODUCT PIPING LINE-UP AND FRONT SIDE "A" (F.S."A") OF DISPENSERS SHALL BE AS SHOWN.
- INSTALL (1) NEW WAYNE SINGLE PRODUCT "MASTER" DIESEL DISPENSER WITH CARD READER, INSTALL (1) HOSE, NOZZLE, SWIVEL AND BREAKAWAY FOR DIESEL PRODUCT. FRONT SIDE "A" (F.S."A") OF DISPENSER SHALL BE PER DRAWING STD-TF-3.
- INSTALL (2) NEW WAYNE SINGLE PRODUCT "MASTER/SATELLITE" DIESEL DISPENSERS WITH CARD READER, INSTALL (4) HOSE, NOZZLE, SWIVEL AND BREAKAWAY FOR DIESEL PRODUCT. FRONT SIDE "A" (F.S."A") OF DISPENSER SHALL BE PER DRAWING STD-TF-3.
- INSTALL (1) NEW WAYNE SINGLE PRODUCT "SATELLITE" DIESEL DISPENSER, INSTALL (1) HOSE, NOZZLE, SWIVEL AND BREAKAWAY FOR DIESEL PRODUCT. FRONT SIDE "A" (F.S."A") OF DISPENSER SHALL BE PER DRAWING STD-TF-3.
- INSTALL NEW (1) 1" AND (2) 3/4" CONDUITS FROM WIRE WAY IN BUILDING TO EACH DISPENSER. (1) 1" CONDUIT TO BE USED FOR POWER/DATA. (1) 3/4" CONDUIT TO BE USED FOR DISPENSER SUMP SENSOR. OTHER 3/4" CONDUIT TO BE USED FOR INTERCOM AND APPLAUSE MEDIA SYSTEM. PULL NEW WIRE AND WIRE DISPENSER PER MANUFACTURER'S SPECIFICATIONS.
- INSTALL (1) 3/4" CONDUIT FROM WIRE WAY IN BUILDING TO SATELLITE DISPENSER FOR DISPENSER SUMP SENSOR. PULL NEW WIRE AND WIRE PER MANUFACTURER'S SPECIFICATIONS.
- INSTALL (1) 3/4" JUMPER CONDUIT FROM EACH MASTER DISPENSER TO THE LIKE NUMBERED SATELLITE DISPENSER. INSTALL CONSOLE AND INTERFACE EQUIPMENT. PULL NEW WIRE AND WIRE DISPENSER PER MANUFACTURER'S SPECIFICATIONS.
- INSTALL ESCO INTERCOM SYSTEM PER DIRECTION OF OWNER'S REPRESENTATIVE AND DRAWING STD-EIW.
- INSTALL END OF LINE HEAT TRACE BEACON LIGHT AT LAST DEF DISPENSER IN PIPE RUN. WIRE PER MANUFACTURER'S SPECIFICATIONS AND STANDARD DEF DETAILS.

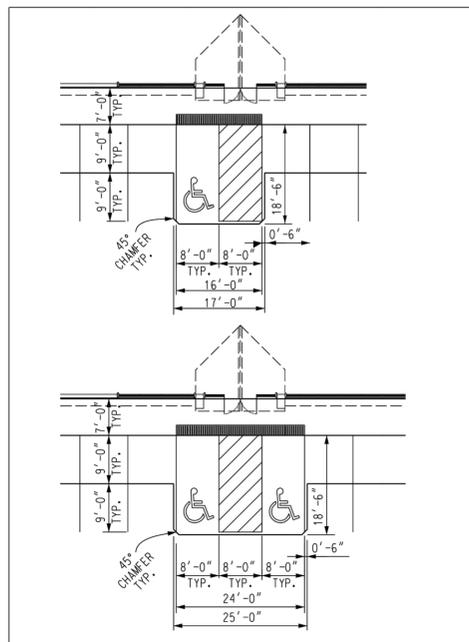
E. PAVING DETAILS

- CONSTRUCT NEW CONCRETE TANK SLAB PER DRAWINGS STD-PQ-4.1 AND STD-CPC-1.
- CONSTRUCT NEW HIGH STRENGTH CONCRETE TANK SLAB PER DRAWINGS STD-PQ-4.1 AND STD-CPC-1.
- CONSTRUCT NEW CONCRETE CAR CANOPY ISLAND SLAB PER DRAWINGS STD-CIS-A AND STD-CPC-1.
- CONSTRUCT NEW HIGH STRENGTH CONCRETE TRUCK CANOPY SLAB PER STD-CIS-CFL AND STD-CPC-1.
- INSTALL NORMAL STRENGTH ASPHALT PAVEMENT WITH AN AGGREGATE BASE PER PAVEMENT SECTION ON STD-CPC-1 AND USE THE RECOMMENDATIONS OF GEOTECHNICAL CONSULTANT FOR ALL OTHER SUBSURFACE CONDITIONS ON THIS SITE. NOTIFY THE OWNER'S REPRESENTATIVE IF THERE ARE ANY CONFLICTS.

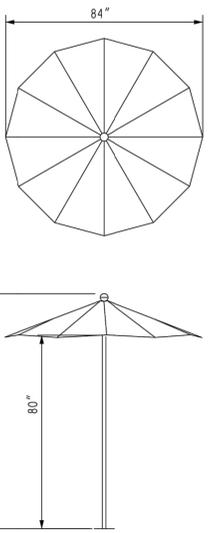
- INSTALL HIGH STRENGTH ASPHALT PAVEMENT WITH AN AGGREGATE BASE PER PAVEMENT SECTION ON STD-CPC-1 AND USE THE RECOMMENDATIONS OF GEOTECHNICAL CONSULTANT FOR ALL OTHER SUBSURFACE CONDITIONS ON THIS SITE. NOTIFY THE OWNER'S REPRESENTATIVE IF THERE ARE ANY CONFLICTS.
- INSTALL HIGH STRENGTH CONCRETE PAVEMENT WITH AN AGGREGATE BASE PER PAVEMENT SECTION ON STD-CPC-1 AND USE THE RECOMMENDATIONS OF GEOTECHNICAL CONSULTANT FOR ALL OTHER SUBSURFACE CONDITIONS ON THIS SITE. NOTIFY THE OWNER'S REPRESENTATIVE IF THERE ARE ANY CONFLICTS.
- CONSTRUCT A 9' WIDE NORMAL STRENGTH CONCRETE SLAB ON BUILDING FRONT PARKING AREAS AS SHOWN ON PLOT PLAN.
- CONSTRUCT (2) CONCRETE APPROACHES (USE HIGH STRENGTH CONCRETE IN TRUCK APPROACHES) PER STATE AND/OR LOCAL SPECIFICATIONS. IF APPLICABLE, REMOVE CURB THROUGH APPROACH WIDTH AND REPLACE WITH 1-1/2" HIGH DEPRESSED CURB PER APPLICABLE SPECIFICATIONS.
- INSTALL 5' WIDE, 4" THICK (THROUGH APPROACH MATCH THICKNESS) CONCRETE SIDEWALK PER STATE AND/OR LOCAL SPECIFICATIONS. REMOVE AND REPLACE EXISTING WALK AS NECESSARY TO ALLOW RAMP TO MEET A.D.A. REQUIREMENTS.
- INSTALL (8) NEW CONCRETE DISPENSER ISLANDS WITH 3' X 5' X 13" ISLAND FORM FOR AUTO DISPENSERS.
- INSTALL (3) NEW CONCRETE DISPENSER ISLANDS WITH 3' X 7' X 13" ISLAND FORM FOR MASTER OR MASTERSATELLITE DIESEL DISPENSERS. ENTIRE WIDTH OF THE DEF AND DIESEL CABINETS TO BE CENTERED ON THE ISLAND PER STD-TF DETAILS.
- INSTALL (1) NEW CONCRETE DISPENSER ISLAND WITH 3' X 5' X 13" ISLAND FORM FOR SATELLITE DIESEL DISPENSER.
- CONSTRUCT CONCRETE CURB AND GUTTER IN RIGHT-OF-WAY PER STATE AND/OR LOCAL SPECIFICATIONS. MACHINE FORMED CURB AND GUTTER MAY BE USED IF ALLOWED BY STATE AND/OR LOCAL SPECIFICATIONS.
- CONSTRUCT CAST IN PLACE CONCRETE CURB INSIDE PROPERTY LINES PER DRAWING STD-CPC-1.
- CONSTRUCT RAMP WITH DETECTABLE WARNING SURFACE IN CONCRETE WALK PER APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- INSTALL 2'-0" WIDE DETECTABLE WARNING SURFACE ALIGNED ON ACCESSIBLE AISLE PER APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- INSTALL CONCRETE SLAB FOR AIR MACHINE PER DRAWING STD-CYE-A. INSTALL (1) 3/4" CONDUIT AND WIRE PER MANUFACTURER'S RECOMMENDATIONS. VERIFY INSTALLATION DETAILS WITH VENDOR.
- CONSTRUCT NEW DEF REMOTE FILL PAD AND [2] 8" BOLLARDS PER STD-DEF-5.
- BID AS ALTERNATE: PROVIDE A PRICE TO SUBSTITUTE CONCRETE PAVEMENT FOR ASPHALT PAVEMENT AND PROTECT FOR COLD WEATHER INSTALLATION.

F. YARD AREA DETAILS

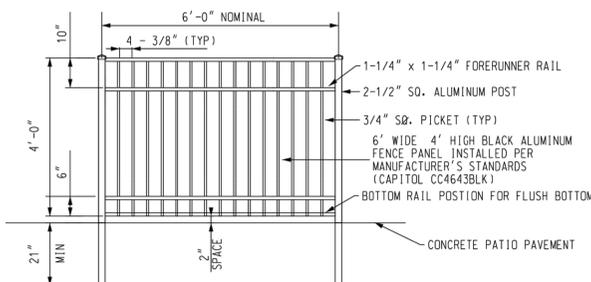
- CONSTRUCT DUMPSTER ENCLOSURE AND COLLECTION PAD WITH ATTACHED STORAGE SHED AND RELATED WIRING AND CONDUITS PER DRAWING STD-SMB-1 AND STD-SS-QB-C2. GATE SHALL BE CHAIN LINK W/ BROWN VINYL SLATS. ENCLOSURE SHALL BE SAME AS BUILDING MATERIAL.
- SUPPLY AND INSTALL (13) 6" BOLLARDS PER DETAIL ON DRAWING STD-CYE-A AND STD-SS SERIES DRAWING. BOLLARD SHALL BE PAINTED RED PER OWNER'S SPECIFICATIONS.
- SUPPLY AND INSTALL (18) 8" BOLLARDS PER DETAIL ON DRAWING STD-CYE-A. BOLLARD SHALL BE PAINTED RED PER OWNER'S SPECIFICATIONS.
- PAINT INDICATED ACCESSIBLE PARKING STALLS AND INSTALL SIGNAGE PER APPLICABLE CODES. PAINT ALL OTHER PARKING STRIPES YELLOW.
- INSTALL 3" PVC PIPE TO HOLD TANK STICK PER OWNER'S REPRESENTATIVE.
- PROVIDE AND INSTALL CODE APPROVED FIRE EXTINGUISHER(S) (1) MINIMUM) WITH PLASTIC BOX HOLDER IN APPROVED LOCATIONS AS REQUIRED BY LOCAL FIRE OFFICIALS. FIRE EXTINGUISHERS SHALL BE LOCATED SUCH THAT AN EXTINGUISHER IS NOT MORE THAN 75 FEET FROM PUMPS, DISPENSERS, OR STORAGE TANK FILL OPENINGS. FIRE EXTINGUISHER MINIMUM RATING SHALL BE 2-A:20-B:C.
- PROVIDE AND INSTALL (1) 1" CONDUIT AND WIRING FROM ELECTRICAL PANEL TO PRICER SIGN FOR 120V POWER. ALSO COMMISSION A WIRELESS CONTROL FROM MANAGER'S WORKSTATION TO PRICER SIGN.
- PROVIDE AND INSTALL (4) 3/4" CONDUIT (OR LARGER BASED ON NEC CODES) AND WIRING FROM ELECTRICAL PANEL TO DIRECTIONAL SIGN FOR 120V POWER.
- INSTALL APPROXIMATELY 451 LINEAR FEET OF MODULAR BLOCK RETAINING WALL PER DETAILS ON DRAWING STD-SRW-1.
- OWNER TO SUPPLY AND CONTRACTOR TO INSTALL (2) 42" TABLES. EACH TABLE SHALL INCLUDE (4) SEATING POSITIONS AND (1) UMBRELLA. THE SEATING POSITION CLOSEST TO THE FRONT ENTRY IS TO REMAIN OPEN FOR ADA ACCESSIBILITY. INSTALL TABLES AND UMBRELLAS PER DIMENSIONED DETAIL ON DRAWING (9336-CS1). CONTRACTOR IS RESPONSIBLE FOR INSTALLATION DETAILS OF THE TABLES AND CHAIRS PER OWNER'S REPRESENTATIVE.
- INSTALL CONTRACTOR SUPPLIED ORNAMENTAL FENCE PER DETAIL ON DRAWING (9336-CS1).
- INSTALL CONTRACTOR SUPPLIED HANDRAIL.



ADA PARKING DETAIL



CAFE UMBRELLA DETAIL



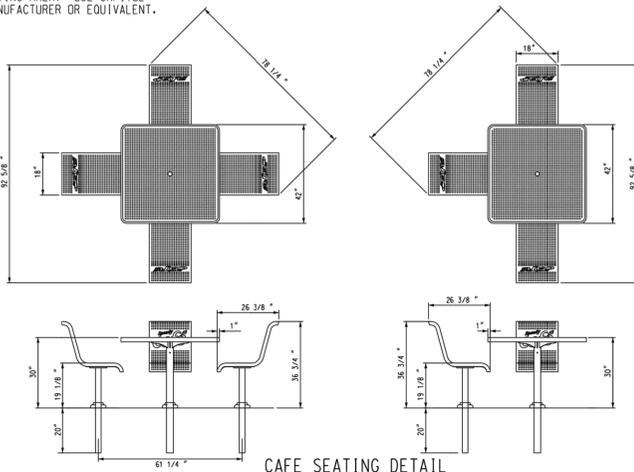
NOTES:

- ORNAMENTAL FENCE TO BE 4' MINIMUM HEIGHT BLACK ALUMINUM FENCE.
- FENCE & ACCESSORIES TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.

FENCE DETAIL

OUTDOOR SEATING AREA NOTES:

- PROVIDE STANDARD 6" (NON-ILLUMINATED) BOLLARD PROTECTION FOR THE OUTDOOR SEATING AREA WHEN ADJACENT TO THE TRAFFIC AISLE UNLESS A 7' SIDEWALK IS PRESENT.
- MINIMUM TWO OUTDOOR TABLES AT 3900 AND 4600 CAFE LOCATIONS.
- IF IT IS DECIDED THAT THE LOCATION IS NOT TO BE A CAFE, THE OUTDOOR SEATING AREA SHALL BECOME GREEN SPACE OR PARKING.
- THE PREFERRED EXTERIOR SEATING AREA SHALL BE LOCATED NEXT TO THE SIDE EXIT DOOR CLOSEST TO THE POINT OF SALE COUNTER.
- A 48" HIGH DECORATIVE FENCE SHALL BE ERECTED ON A MINIMUM OF THREE SIDES OF THE EXTERIOR SEATING AREA. USE CAPITOL CC4643BLK AS PREFERRED FENCE MANUFACTURER OR EQUIVALENT.
- NO PASS-THRU PEDESTRIAN TRAFFIC SHALL BE DESIGNED IN THE OUTDOOR SEATING AREA.
- DUMPSTER ENCLOSURE SHALL BE NO CLOSER TO 50' FROM THE OUTDOOR SEATING AREA. (PREF. ON OPPOSITE SIDE OF BUILDING).
- CAFE SEATING FURNITURE (TABLES, UMBRELLAS AND CHAIRS), MODEL NUMBERS: POK1561 AND POK1665, SHALL BE OWNER SUPPLIED FROM WABASH VALLEY MANUFACTURING, INC. AND CONTRACTOR INSTALLED.



CAFE SEATING DETAIL

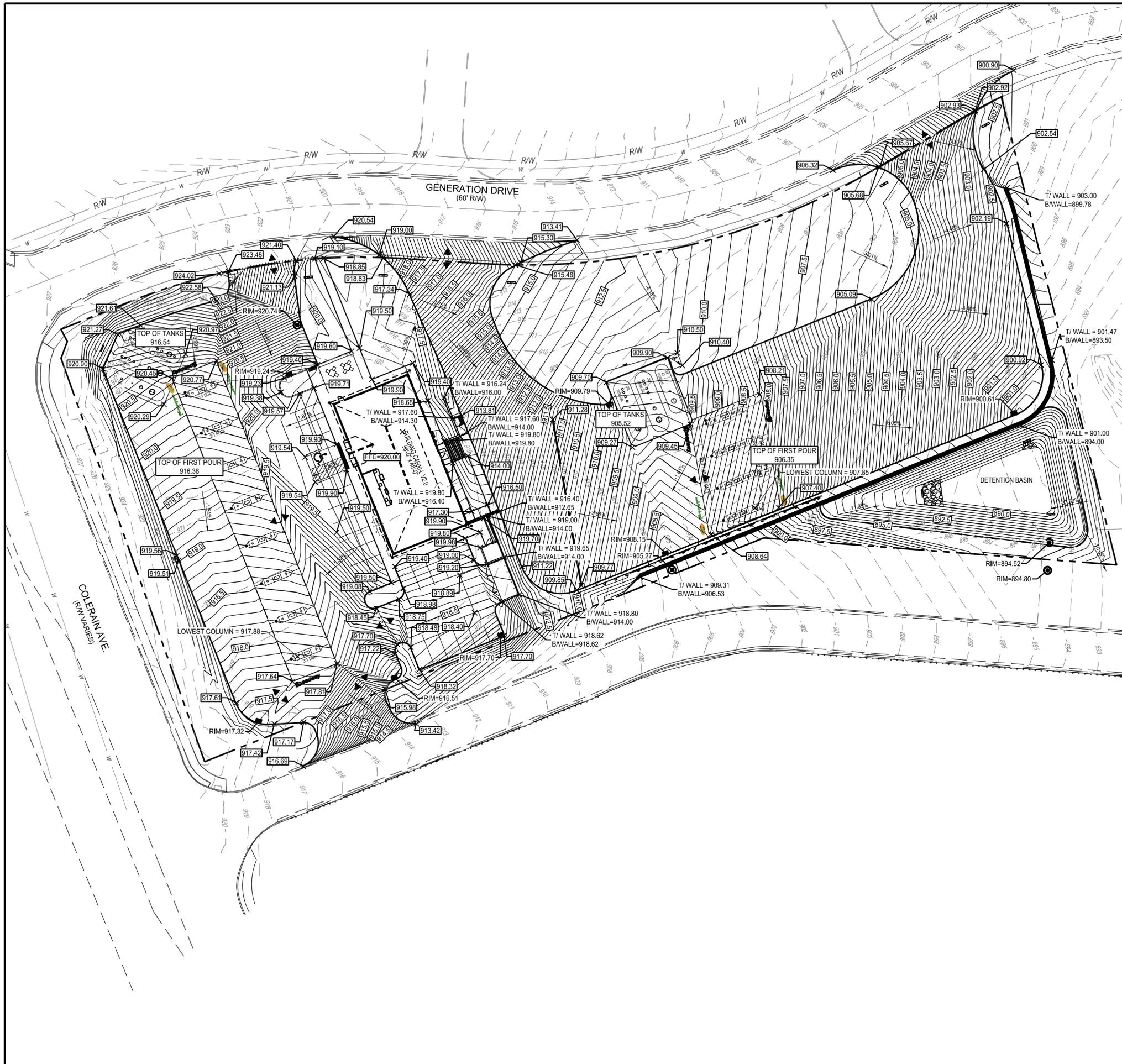
CONTRACTOR SHALL REVIEW THE COMPLETE DRAWING SET AND NOTIFY THE DESIGN PROFESSIONAL IN WRITING PRIOR TO CONSTRUCTION, IF ANY DISCREPANCIES ARE FOUND WITHIN THE DRAWINGS OR WITH ACTUAL FIELD CONDITIONS.



NO.	DATE	REVISIONS
1	07/20/18	INITIAL PLAN SUBMITTAL
2	08/09/18	CE PLAN SUBMITTAL
3	08/10/18	CE PLAN SUBMITTAL
4	10/23/18	FE PLAN SUBMITTAL

PLOT PLAN NOTES
REBUILD
10270 COLLERAIN AVENUE
HAMILTON COUNTY
CINCINNATI, OH

BLDG TYPE & VERSION	C4600-V2.0
PROJECT ID NO.	67507
SCALE	NO SCALE
DESIGN TEAM	DATE
DGNR. P. WEIDNER	10/23/18
P.MGR. E. BOYD	10/23/18
R.VWR. J. DE ZORT	10/23/18
DRWG. NO.	9336-CS1



LEGEND

	EXISTING ELEVATION
	EXISTING INTERPOLATED ELEVATION
	NEW PAVEMENT ELEVATION (UNLESS NOTED OTHERWISE)
	EXISTING CONTOUR
	NEW CONTOUR
	NEW GRASS CONTOUR
	PAVEMENT CROWN LINE
	CONTOUR TIE-IN

CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF EXISTING ELEVATIONS AT CRITICAL POINTS SUCH AS APPROACHES, DRAINAGE STRUCTURES, CURBING, ETC. VERIFICATION SHALL BE PERFORMED DURING LAYOUT STAGES AND SIGNIFICANT DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.

A. GENERAL NOTES

- CONTRACTOR TO USE EXTREME CAUTION WHEN GRADING IN AND AROUND EXISTING UTILITIES. CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH PRIOR TO START OF CONSTRUCTION.
- EXCAVATE SOILS AS NECESSARY TO COMPLETE PROPOSED CONSTRUCTION. UNLESS OTHERWISE DIRECTED (REFER TO GEOTECHNICAL REPORT), USE ALL EXCAVATED SOILS AS FILL ON SITE. ANY SOILS THAT CANNOT BE UTILIZED ON SITE SHALL BE LOADED DIRECTLY ONTO TRANSPORT TRUCKS AND HAULED TO OWNER'S APPROVED LOCATION. ANY IMPACTED SOILS ENCOUNTERED SHALL BE LOADED SEPARATELY AND SHALL NOT BE COMINGLED WITH CLEAN SOILS. ANY EXCAVATED SOIL OR MATERIALS THAT LEAVE THE SITE MUST GO TO AN APPROVED LANDFILL LOCATION OR BE ACCOMPANIED BY AN APPROVED BILL OF SALE.
- BID AS ALTERNATE A: IMPACTED SOILS SHALL BE PLACED ON MINIMUM 6 MIL. VISQUEEN AND COVERED WITH 40' X 100' SHEETS OF 4 MIL. VISQUEEN. A SAND BERM SHALL BE CONSTRUCTED AROUND ENTIRE PILE OF SOIL TO HOLD THE VISQUEEN DOWN. ALL SEAMS OR OVERLAP (6" MINIMUM) IN THE VISQUEEN COVERING SHALL BE SECURED WITH WEIGHTED MATERIAL.
- BID AS ALTERNATE B: PROVIDE DEWATERING NECESSARY FOR ANY EXCAVATIONS AND TO PREVENT TANKS FROM FLOATING WHILE THE TANKS ARE NOT COVERED BY PROPER OVERBURDEN. DEWATERING SHALL CONSIST OF SUPPLYING EQUIPMENT AND LABOR TO MAINTAIN PUMPING ACTIVITIES AS NECESSARY. COORDINATE WITH OWNER'S REPRESENTATIVE TO DETERMINE WHERE WATER CAN BE PUMPED. IDENTIFY THIS COST AS A SPECIFIC LINE ITEM IN THE BID. DISPOSAL OF CONTAMINATED WATER SHALL BE THE OWNER'S RESPONSIBILITY.
- THE ENVIRONMENTAL CONSULTANT AND THE CONTRACTOR SHALL USE THE "SOILS WORKSHEET" TO ACCOUNT FOR ALL EXCAVATED SOILS.
- A REPORT OF THE SUBSURFACE INVESTIGATION IS MADE AVAILABLE TO THE CONTRACTOR AT TIME OF BIDDING. THE BASE BID SHALL INCLUDE LAND BALANCING ACTIVITIES BASED ON THE ASSUMPTION THAT EXCAVATED SOIL CAN BE REUSED AS NECESSARY FOR CONSTRUCTION. UPON REVIEWING THE SUBSURFACE INVESTIGATION, CONTRACTOR SHALL INCLUDE THE FOLLOWING AS ALTERNATE:
 - OVER-EXCAVATE AREAS OF UNSUITABLE SOILS AND STABILIZE AREAS PER THE SUBSURFACE INVESTIGATION. ESTIMATE QUANTITY OF OVER-EXCAVATED AREAS AND REPLACEMENT BACKFILL IN EACH AREA, ALONG WITH THE TYPE OF BACKFILL. ACTUAL QUANTITIES WILL BE VERIFIED DURING CONSTRUCTION PER THE DIRECTION OF THE GEOTECH CONSULTANT AND OWNER'S REPRESENTATIVE, WITH DETAILED CHANGE ORDERS SUBMITTED TO OWNER.
- ANY DISCREPANCIES BETWEEN ELEVATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AND THE DESIGN ENGINEER.

CONTRACTOR SHALL REVIEW THE COMPLETE DRAWING SET AND NOTIFY THE DESIGN PROFESSIONAL IN WRITING PRIOR TO CONSTRUCTION, IF ANY DISCREPANCIES ARE FOUND WITHIN THE DRAWINGS OR WITH ACTUAL FIELD CONDITIONS.

BENCHMARK DATUM: NAVD88
 BM "B": YELLOW BENCHMARK SET IN POWER POLE
 ELEV = 927.89
 BM "C": ARROW ON HYDRANT
 ELEV = 892.43

NOTE:
 CONTRACTOR TO COORDINATE WITH GEOTECHNICAL ENGINEER AND SPEEDWAY PROJECT MANAGER TO VERIFY ABILITY TO REUSE EXISTING SOILS. ALL EXISTING SOILS TO BE REUSED ARE TO MEET THE STANDARDS AS NOTED IN THE GEOTECHNICAL REPORT PREPARED BY CTL ENGINEERING, INC., DATED 06/29/2018. ALL SOILS THAT ARE NOT SUITABLE FOR RE-USE ARE TO BE PROPERLY DISPOSED OF.



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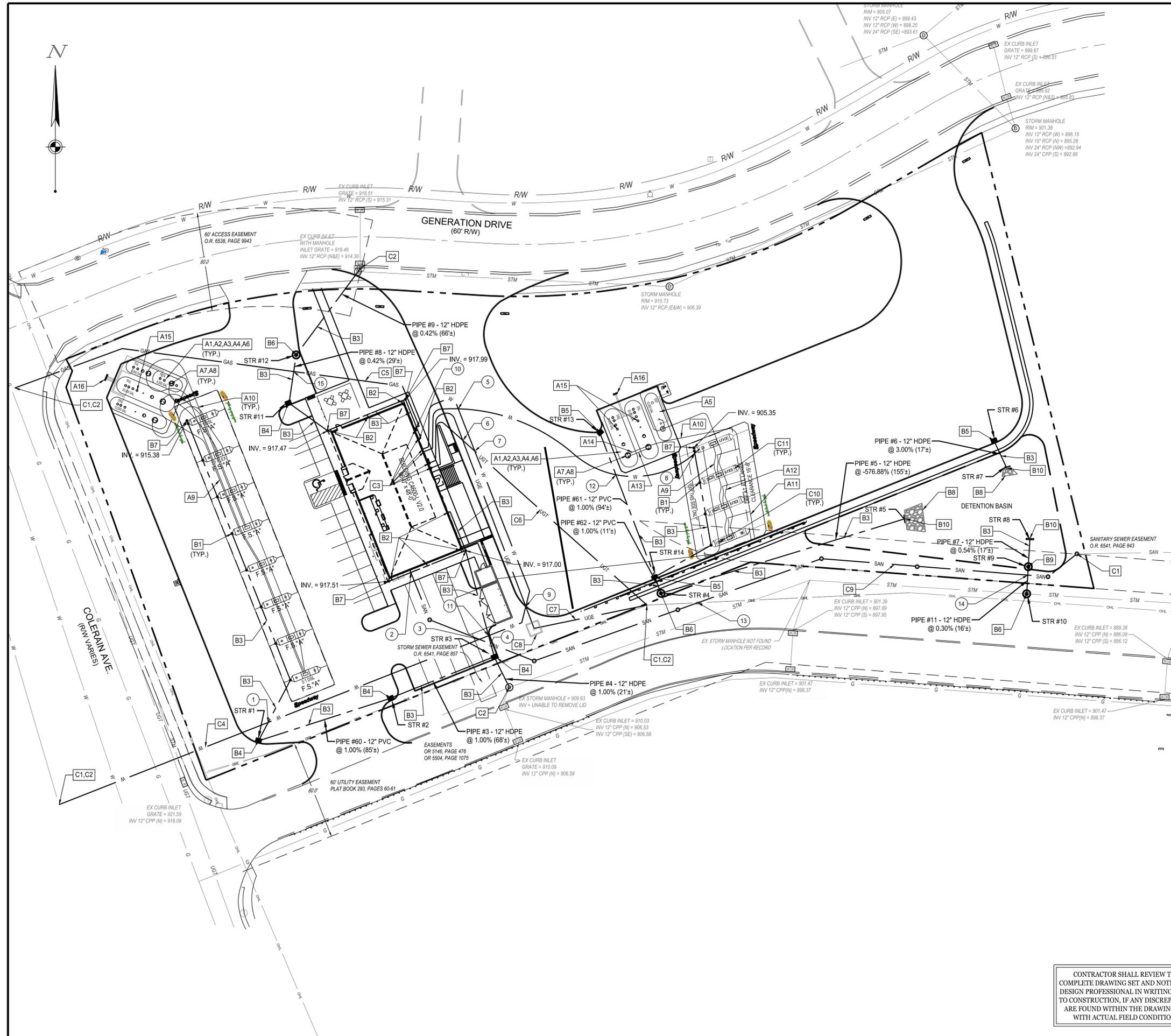
STATE OF OHIO
 THOMAS J. VANDEN BOSCH
 54403
 REGISTERED PROFESSIONAL ENGINEER
 NOT FOR CONSTRUCTION

Speedway
 Prepared By:
 Engineering and Construction Dept.
 Enon, OH 43029

NO.	REVISIONS	DATE
1	INITIAL PLAN SUBMITTAL	07/20/18
2	CE PLAN SUBMITTAL	08/09/18
3	CE PLAN SUBMITTAL	08/10/18
4	FE PLAN SUBMITTAL	10/23/18

GRADING PLAN
REBUILD
 10270 COLERAIN AVENUE
 HAMILTON COUNTY
 CINCINNATI, OH

BLDG TYPE & VERSION	C4600-V2.0
PROJECT ID NO.	67507
SCALE	0 15 30 GRAPHIC SCALE IN FEET
DESIGN TEAM	DATE
DGNR. P. WEIDNER	10/23/18
P.MGR. E. BOYD	10/23/18
R.VWR. J. DE ZORT	10/23/18
DRWG. NO.	9336-CG



PIPING & UTILITIES LEGEND

—	NEW PRODUCT PIPING
—	NEW VENT PIPING
—	STM STORM SEWER
—	SAN SANITARY SEWER
—	G GAS LINE
—	W WATER LINE
—	OHE OVERHEAD ELECTRIC LINE
—	UGE UNDERGROUND ELECTRIC LINE
—	OHT OVERHEAD TELEPHONE LINE
—	UGT UNDERGROUND TELEPHONE LINE

UTILITY CROSSING SCHEDULE

NO.	UTILITY	ELEVATION	CLEARANCE
1	PR. WATER	B/PIPE = 911.68	1.50'
	PR. 6" STM	T/PIPE = 910.18	
2	PR. 6" STM	B/PIPE = 917.37	1.70'
	PR. 6" SAN	T/PIPE = 915.67	
3	PR. WATER	B/PIPE = 914.71	3.23'
	PR. 6" SAN	T/PIPE = 911.48	
4	PR. 6" STM	B/PIPE = 916.41	5.01'
	PR. 6" SAN	T/PIPE = 911.40	
5	PR. WATER	B/PIPE = 911.90	1.50'
	PR. WATER	T/PIPE = 910.40	
6	PR. ELEC	B/PIPE = 911.21	1.50'
	PR. TELE	T/PIPE = 909.71	
7	PR. WATER	B/PIPE = 910.77	1.50'
	PR. TELE	T/PIPE = 909.27	
8	PR. 6" STM	B/PIPE = 905.32	1.50'
	PR. WATER	T/PIPE = 903.82	
9	PR. WATER	B/PIPE = 908.08	1.50'
	PR. ELECTRIC	T/PIPE = 906.575	
10	PR. 6" STM	B/PIPE = 918.17	1.5'
	PR. GAS	T/PIPE = 916.67	
11	PR. 6" STM	B/PIPE = 916.46	1.50'
	PR. WATER	T/PIPE = 914.96	
12	PR. WATER	B/PIPE = 906.6	1.50'
	PR. 12" STM	T/PIPE = 905.10	
13	PR. 6" SAN	B/PIPE = 900.31	1.50'
	EX. ELEC	T/PIPE = 898.81	
14	PR. 6" SAN	B/PIPE = 892.60	1.69'
	PR. 12" STM	T/PIPE = 890.91	
15	PR. 12" STM	B/PIPE = 916.139	1.50'
	PR. GAS	T/PIPE = 914.639	



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CONTRACTOR SHALL VERIFY INVERT ELEVATIONS AND OTHER CRITICAL DIMENSIONS LISTED ON THESE DRAWINGS WHERE UTILITY TIE-INS ARE TO BE MADE. VERIFICATION SHALL BE COMPLETED PRIOR TO INSTALLATION OF NEW UTILITIES. ANY SIGNIFICANT DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.

CESO
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PROJECT NO. 752598

STATE OF OHIO
THOMAS J. VANDEN BOSCH
54403
REGISTERED PROFESSIONAL ENGINEER
NOT FOR CONSTRUCTION

Speedway
prepared by:
Speedway Engineering and Construction Dept.
Enon, OH 46629

NO.	DATE	REVISIONS
1	07/20/18	DESIGNER/PLANNING REVIEW
2	08/01/18	CEP PLAN SUBMITTAL
3	08/10/18	CEP PLAN SUBMITTAL
4	10/22/18	FE PLAN SUBMITTAL

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PIPING & UTILITIES PLAN
REBUILD
10270 COLLERAIN AVENUE
HAMILTON COUNTY
CINCINNATI, OH

BLDG TYPE & VERSION	C4600-V2.0
PROJECT ID NO.	67507
SCALE	0 15 30 GRAPHIC SCALE IN FEET

DESIGN TEAM	DATE
DGNR. P. WEIDNER	10/23/18
P.MGR. E. BOYD	10/23/18
R.WWR. J. DE ZORT	10/23/18
DRWG. NO.	9336-CU

A. TANKS AND PRODUCT PIPING DETAILS

1. CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIAL AS INDICATED ON STD-PQ, STD-TF, AND STD-DEF SERIES DRAWINGS.
2. ALL NEW INSTALLATIONS AND MODIFICATIONS TO THE UNDERGROUND STORAGE TANK SYSTEM SHALL COMPLY WITH PEI RP100-05, PEI RP300-09, API RP1615 AND ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
3. TANKS SHALL BE ANCHORED PER STANDARD DRAWING STD-PQ-5.
4. BALLAST TANKS TO 90% FULL WITH CLEAN WATER. DO NOT BALLAST DEF TANKS WITH WATER. AFTER THE TANKS HAVE BEEN PROPERLY COVERED BY OVERBURDEN AND BEFORE PRODUCT IS DELIVERED, THE CONTRACTOR SHALL REMOVE ALL WATER. COORDINATE WITH OWNER'S REPRESENTATIVE FOR DELIVERY OF PRODUCT. ANY WATER REMAINING IN TANKS AFTER PRODUCT DELIVERY SHALL BE REMOVED AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
5. BALLAST DIESEL EXHAUST FLUID (DEF) TANK 90% FULL WITH THE DEF PRODUCT. COORDINATE WITH OWNER'S REPRESENTATIVE FOR DELIVERY OF PRODUCT.
6. INSTALL TANK CONDUIT FROM TANK TO DISPENSER ELECTRICAL EQUIPMENT INSIDE BUILDING PER STD-PQ SERIES DRAWINGS AND MANUFACTURER'S INSTRUCTIONS.
7. INSTALL VEEDER ROOT LINE LEAK DETECTION AND ATG SYSTEM, RELATED MANHOLES, CONDUITS, AND JUNCTION BOXES PER DRAWING STD-EVR-450 AND MANUFACTURER'S INSTRUCTIONS. INSTALL TANK INTERSTITIAL SENSORS FURNISHED BY OWNER.
8. INSTALL TANK SUMP SENSORS FURNISHED BY OWNER.
9. PRODUCT PIPING LINE-UP AND FRONT SIDE "A" (F.S. "A") OF DISPENSERS SHALL BE AS SHOWN. PIPING AND CONDUIT LOCATION AND SPACING UNDER DISPENSERS SHALL BE PER STD-PQ SERIES DRAWINGS.
10. INSTALL 2" DIRECT-BURY SOLID WALL PRODUCT PIPING (UPP DOUBLE WALL) PER MANUFACTURER'S RECOMMENDATIONS AND SERIES STD-PQ DRAWINGS. THE PIPE, APPURTENANCES (INCLUDING BULKHEAD ENTRY FITTINGS), AND MISC. MATERIALS NECESSARY TO ASSEMBLE SYSTEM SHALL BE OWNER SUPPLIED.
11. INSTALL 3" DIRECT-BURY SOLID WALL PRODUCT PIPING (UPP DOUBLE WALL) WITH 2" LATERALS TO EACH MASTER OR MASTER/SATELLITE DISPENSER FOR TRUCK LANES PER MANUFACTURER'S RECOMMENDATIONS AND SERIES STD-TF DRAWINGS. THE PIPE, APPURTENANCES (INCLUDING BULKHEAD ENTRY FITTINGS), AND MISC. MATERIALS NECESSARY TO ASSEMBLE SYSTEM SHALL BE OWNER SUPPLIED.
12. INSTALL 1" STAINLESS STEEL FLEXIBLE PRODUCT PIPING WITH HEAT TRACE WITHIN 4" ACCESS/CONTAINMENT PIPE FOR DEF PIPING PER MANUFACTURER'S RECOMMENDATIONS AND STANDARD SERIES STD-DEF DRAWINGS. THE PIPE, APPURTENANCES (INCLUDING BULKHEAD ENTRY FITTINGS), AND MISC. MATERIALS NECESSARY TO ASSEMBLE SYSTEM SHALL BE OWNER SUPPLIED.
13. INSTALL SIPHON LINE[S] PER DETAILS ON THE STD-PQ SERIES DRAWINGS.
14. INSTALL MANIFOLD PER DETAILS ON THE STD-PQ SERIES DRAWINGS.
15. INSTALL A SECOND FILL PIPE ON 20,000 GALLON TANKS PER DETAILS ON THE STD-PQ SERIES DRAWINGS.
16. SUPPLY AND INSTALL 2" SINGLEWALL FIBERGLASS VENT LINES AND RELATED EQUIPMENT. CONTRACTOR TO LOCATE VENT STACKS A MINIMUM OF 10' AWAY FROM ELECTRICAL EQUIPMENT AND EXISTING BUILDING STRUCTURES.

B. STORM PIPING

1. A CLEANOUT SHALL BE INCLUDED AT EVERY CANOPY COLUMN WITH A DOWNSPOUT THAT IS CONNECTED TO THE STORM DRAINAGE SYSTEM AS INDICATED PER DRAWING STD-SCB-1.
2. BUILDING DOWNSPOUTS SHALL BE CONNECTED TO STORM DRAINAGE SYSTEM AS INDICATED.
3. SUPPLY AND INSTALL STORM DRAINAGE PIPING AS SHOWN PER STANDARD DRAWING SERIES STD-CUD.
4. SUPPLY AND INSTALL (4) STANDARD DUTY CATCH BASIN[S], WITH SPIDER DRAINS, INCLUDING CONCRETE COLLAR IF IN ASPHALT PAVEMENT PER DRAWING STD-CUD-1.
5. SUPPLY AND INSTALL (3) HEAVY DUTY CATCH BASIN[S], WITH SPIDER DRAINS, INCLUDING CONCRETE COLLAR IF IN ASPHALT PAVEMENT PER DRAWING STD-CUD-1.
6. SUPPLY AND INSTALL (3) STANDARD DUTY MANHOLE[S], INCLUDING CONCRETE COLLAR IF IN ASPHALT PAVEMENT, PER DRAWING STD-CUD-1.
7. SUPPLY AND INSTALL CLEAN OUTS AT LOCATIONS SHOWN PER DRAWING STD-CUD-1 AND STD-SCB-1.
8. SUPPLY AND INSTALL RIP-RAP AS SHOWN AND PER DRAWING STD-CUD-2.
9. SUPPLY AND INSTALL (1) OUTLET CONTROL STRUCTURE PER DETAIL ON [SHEET] AND PER STANDARD DRAWING STD-CUD-1.
10. CONSTRUCT (3) HEADWALLS PER DETAILS ON SHEET XXXXX-XXX.

C. UTILITIES

1. VERIFY ALL SERVICE UTILITY ROUTINGS WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. VERIFY ALL UTILITY CLEARANCES ARE MAINTAINED PER LOCAL CODE.
2. ALL WORK WITHIN RIGHT-OF-WAY SHALL CONFORM TO GOVERNING STATE AND/OR LOCAL SPECIFICATIONS.
3. SITE CONTRACTOR TO BRING UTILITIES WITHIN 5' OF BUILDING AT LOCATIONS SHOWN. COORDINATE ALL BUILDING UTILITY CONNECTIONS WITH BUILDING DRAWINGS.
4. CONTRACTOR SHALL FURNISH AND INSTALL 2" COPPER WATER LINE FROM METER TO NEW 1.5" TAP. CONTRACTOR SHALL INSTALL THE WATER LINE FROM THE METER TO THE BUILDING SERVICE PER THE BUILDING DRAWINGS. CONTRACTOR SHALL COORDINATE INSTALLATION WITH WATER COMPANY.
5. CONTRACTOR SHALL FURNISH AND INSTALL 1.25" GAS LINE FROM METER TO NEW TAP. THE CONTRACTOR SHALL INSTALL THE GAS LINE FROM THE METER TO THE BUILDING SERVICE PER THE BUILDING DRAWINGS. CONTRACTOR SHALL COORDINATE INSTALLATION WITH GAS COMPANY.
6. CONTRACTOR SHALL FURNISH AND INSTALL (1) 2" PVC CONDUIT WITH PULL STRING FROM TELEPHONE SERVICE CONNECTION TO BUILDING.
7. NEW UNDERGROUND 120/208V THREE PHASE ELECTRIC SERVICE SHALL BE INSTALLED PER BUILDING DRAWINGS. DUKE ENERGY SHALL INSTALL CONDUITS AND CONDUCTORS FROM PAD MOUNTED TRANSFORMER TO BUILDING. CONTRACTOR SHALL SUPPLY AND INSTALL CONDUITS FOR PRIMARY POWER AS SPECIFIED BY DUKE ENERGY FROM POWER POLE TO TRANSFORMER. PRIMARY POWER CONDUCTORS SUPPLIED AND INSTALLED BY DUKE ENERGY.
8. INSTALL CONCRETE TRANSFORMER PAD AT LOCATION INDICATED PER REQUIREMENTS OF LOCAL POWER COMPANY, INCLUDING ANY REQUIRED BOLLARDS.
9. INSTALL 6" PVC SANITARY SEWER LINE FROM BUILDING TO APPROPRIATE SERVICE LATERAL PER FIELD CONDITIONS. MINIMUM SLOPE SHALL BE 1.0%. INSTALL CLEAN-OUTS EVERY 100' ALONG SEWER LINE.
10. PROVIDE AND INSTALL AIR HOSE AND REEL PER MANUFACTURERS RECOMMENDATION AND DETAILS ON STD-SS DRAWINGS(REQUIRED ON TRUCK ISLANDS). AIR SERVICE TO TRUCK LINES WILL BE SUPPLIED FROM AIR COMPRESSOR IN STORAGE BUILDING.
11. FURNISH AND INSTALL FREEZELESS YARD HYDRANT PER DETAIL ON DRAWING STD-CYE-O (REQUIRED ON TRUCK ISLANDS). RUN TYPE "K" 3/4" COPPER WATER LINE PER CHART ON BLDG DWG P-3] BUILDING TO HYDRANTS.



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NO.	REVISIONS	DATE	REVISIONS	DATE
1	CE PLAN SUBMITTAL	07/20/18		
2	CE PLAN SUBMITTAL	08/01/18		
3	CE PLAN SUBMITTAL	08/10/18		
4	FE PLAN SUBMITTAL	10/23/18		

PIPING & UTILITIES
PLAN NOTES
REBUILD
10270 COLLERAIN AVENUE
HAMILTON COUNTY
CINCINNATI, OH

BLDG TYPE & VERSION C4600-V2.0
PROJECT ID NO. 67507
SCALE 0 15 30
GRAPHIC SCALE IN FEET

DESIGN TEAM	DATE
DGNR. P. WEIDNER	10/23/18
P/MGR. E. BOYD	10/23/18
R/WR. J. DE ZORT	10/23/18

DRWG. NO. 9336-CU1

NOT FOR CONSTRUCTION

Speedway
Prepared By:
Speedway Engineering and Construction Dept.
Enon, OH 43025

NO.	REVISIONS	DATE
1	INITIAL PLAN SUBMITTAL	07/20/18
2	CE PLAN SUBMITTAL	08/02/18
3	CE PLAN SUBMITTAL	08/10/18
4	FE PLAN SUBMITTAL	10/23/18

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ZONING MAP
REBUILD
10270 COLERAIN AVENUE
HAMILTON COUNTY
CINCINNATI, OH

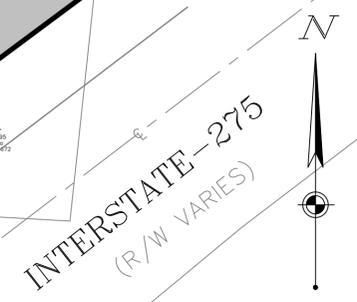
BLDG TYPE & VERSION	C4600-V2.0
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SCALE	0 50 100 GRAPHIC SCALE IN FEET
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DGNR. P. WEIDNER	10/23/18
P.MGR. E. BOYD	10/23/18
R.VWR. J. DE ZORT	10/23/18
DRWG. NO.	9336-Z1



STRUBLE BUSINESS PARK PD

COLERAIN TOWN CENTER PD

REZONE AREA - 1.53 ACRES
CURRENT ZONING - PD-I - COLERAIN TOWN CENTER PD
PROPOSED ZONING - PD-I - STRUBLE BUSINESS PARK PD



INTERSTATE - 275
(R/W VARIES)



HAMILTON COUNTY

Regional Planning Commission

STAFF REPORT

FOR CONSIDERATION BY HAMILTON COUNTY REGIONAL PLANNING COMM. ON DEC.6, 2018
FOR CONSIDERATION BY THE COLERAIN TOWNSHIP ZONING COMMISSION ON DEC. 18, 2018

**ZONE
AMENDMENT
CASE:**

COLERAIN ZA2016-09

SPEEDWAY GAS STATION

REQUEST: Major Modification to an approved Preliminary Development Plan in an existing “PD-I” Planned Industrial district

PURPOSE: To raze the existing Speedway gas station to construct a new 4,608 square-foot convenience store with 24 parking spaces including eight automobile fueling stations and three commercial fueling lanes for truck customers

APPLICANT: Jonathan Woche, McBride Dale Clarion (applicant); Speedway LCC (owner)

LOCATION: Colerain Township: 10270 Colerain Avenue; on the south side of the newly constructed Generation Drive and north of the Colerain Shopping Center (Book 510, Page 203, Parcel 5)

SITE DESCRIPTION:
Tract Size: 3.03 acres
Frontage: Approximately 280 feet on Colerain Avenue and approximately 550 feet on Generation Drive
Topography: Relatively flat but slopes downward to the east
Existing Dvlpmt: Speedway Gas Station and vacant land

**SURROUNDING
CONDITIONS:**

	<u>ZONE</u>	<u>LAND USE</u>
North:	“PD-I” Planned Industrial	Rumpke Office Building
South:	“PD-B” Planned Business	Colerain Shopping Center
East:	“PDI” Planned Industrial	Vacant land
West:	“R-3” Residence	Single-family homes

ZONING

JURISDICTION: Colerain Township Board of Trustees

SUMMARY OF

RECOMMENDATION: APPROVAL with Conditions

ZONING HISTORY: The existing speedway gas station parcel currently located in the Colerain Town Center Planned District (PD), was part of case 8-88 Colerain – Commercial Park which was a rezoning of a 94-acre triangular area bounded by I-275, Colerain Avenue, and Struble Road from residential to retail business and light industry. A Major Modification was approved in 1996, reducing a portion of the office and light industrial development and expanding the retail complex. The modification replaced 330,000 sq. ft. of professional and office/warehouse space with 175,000 sq. ft. of retail space.

The rear portion of the site in question is part of the Struble Road Business Park PD (case Colerain ZA 2016-09), where in January 2017, a substantial modification as well as a zone amendment from “B-3” Commerce District to “PD-I” Planned Industrial was approved. The modification was approved to construct two office buildings with a total of 93,600 sq. ft. and seven office/warehouse buildings with a total of 286,500 sq. ft., as well as an internal roadway connecting to Colerain Avenue and Struble Road (now known as Generation Drive).

PROPOSED USE: The applicant is proposing to consolidate two properties for a total 3.03 acres to raze the existing Speedway store in order to construct a new 4,608 square-foot Speedway store. The building would be single-story with a shingled pitch roof. The applicant has proposed a small outside eating area with a dumpster enclosure and 24 parking spaces. There are eight fuel dispenser islands proposed to be located in the front (western side of the store) and three commercial fueling lanes for trucks behind (eastern side of the store). There would be a freestanding sign on the intersection of Colerain Avenue and the newly constructed Generation Drive. Entrance-only and exit-only directional signs are proposed at Generation Drive for commercial truck use, and separate entrances are being proposed for the convenience store automobile fueling stations for a total of four total curb cuts.

The existing Speedway store and gas pumps are zoned “PD-I” Planned Industrial District and are part of the Colerain Town Center PD. The additional 1.53 tract of land to be purchased to the west and to be included in this development is also zoned “PD-I”. However, this portion of the site is part of the Struble Road Business Park PD. The applicant is proposing that the entire 3.03 acre site of the newly constructed building be included in the Struble Road Business Park. This request is being considered a Major Modification as the approved Preliminary Development Plan for the Struble Road Business Park did not include any building or site details for this area. This modification will be processed similar to a zone change request with a review and recommendation by the Regional Planning Commission and the Township Zoning Commission, with the final vote by the Township Trustees.

ANALYSIS:

Land Use Plan Consistency

Applicable Policies and Recommendations: The Regional Planning Commission has an adopted Land Use Plan for this site. The adoption and review history of the Colerain Township Southeast Sector Land Use Plan is as follows:

- Adopted by RPC March 1989
- Last 5 Year Update adopted by RPC December 2001

Findings:

- *The Land Use Plan is not considered current as defined by RPC Bylaws as it has not been reviewed and updated by the RPC within the last 5 years. However, the Colerain Township Trustees have adopted a Land Use Map for the entire Township dated September 2011.*
- *The Land Use Map designates the site as Light Industry, which is defined as “smaller scale industrial uses such as warehouses, storage, limited manufacturing, research and development, transit terminals and wholesaling activities in enclosed facilities without offensive emissions or nuisance. Typically office warehouse uses with convenient access to major roads.”*
- *Staff finds that the existing and proposed gas station/convenience store would be consistent with this land use designation as the expansion is related to truck traffic and would be an accessory use to the adjacent office/warehouse development.*
- *However, consistency with the adopted Land Use Plan is not required in accordance with RPC Consistency By-laws because the Land Use Plan is not current.*

RECOMMENDED MOTION:

To accept staff findings that consistency with the adopted land use plan is not required.

ANALYSIS:

Thoroughfare Plan Consistency

Applicable Policies and Recommendations: The proposed development has frontage on Colerain Avenue and Generation Drive. The Hamilton County Thoroughfare Plan designates Colerain Avenue as a Major Arterial with a required right-of-way of 120 feet (60 feet from centerline). The newly constructed Generation Drive is not in the Hamilton County Thoroughfare Plan; therefore it does not have a required right-of-way.

Findings: *Staff cannot determine compliance with the Thoroughfare Plan as the dimensions from the centerline appear to have been omitted from the submitted site plans. Staff recommends that the site plan be revised to include the required 60 feet of right-of-way from the centerline of Colerain Avenue in accordance with the Thoroughfare Plan.*

Zoning Compliance

The site plan appears to meet the minimum standards of the Colerain Township Zoning Resolution and the “PD-I” Planned Industrial District with the following exceptions.

Table 9-1 – Planned Development Use Table

This table indicates that uses permitted in the PD-I district shall be the same as those

permitted in the I-1 Industrial District, and that uses not specifically listed as permitted may be approved as part of a preliminary development plan.

Findings: *The I-1 Industrial district lists distribution facilities, light industrial uses, storage facilities, warehouses, and wholesale commercial activities as permitted uses. However, retail/convenience stores, as well as gas stations, are specifically not permitted in the I-1 Industrial district. Staff finds that the use would be consistent with the intent of the PD-I District to permit flexible light industrial space. Therefore, staff finds that the gas station use should be permitted as part of the Preliminary Development Plan approval.*

Table 9-2 – Common Open Space Requirements

This section requires 15% common open space for sites zoned “PD-I”.

Findings: *The submitted plans do not indicate an official dedication of common open space, nor is there an indication of the Impervious Surface Ratio. Staff recommends that the applicant submit plans with this information in order to determine consistency with the Colerain Township Zoning Resolution.*

Sections 13.3.2 (A) – Required Number of Spaces

This section states that for any automotive fuel sales use, 4 spaces are required per 1,000 square feet, and 1 space per fuel pump or service bay.

Findings: *The applicant has proposed a total of 24 parking spaces for the entire development. Staff finds that the proposed parking amounts meet the proposed fueling station’s requirements per the Colerain Township Zoning Resolution and is sufficient for the use.*

Other Issues

Compliance with Zone Amendment Conditions

The previous Zone Amendment, case 2016-09, included the area where the commercial fueling lanes for truck customers are proposed but did not include the existing Speedway site. The applicant is requesting that the existing site, as well as the adjacent parcel to include the commercial fueling lanes, be included in the Struble Road Business PD. Therefore, compliance with the previous zone amendment would be required.

CONCLUSION:

Based on the above findings, there is sufficient reason for staff to recommend approval of the requested Major Modification to the approved Preliminary Development Plan. With the dedication of common open space and compliance with the Thoroughfare Plan, the proposed convenience store, automobile fueling stations and commercial fueling lanes would likely have no negative impact on existing and proposed uses in the area. Therefore staff finds that the development would be appropriate in this location.

**RECOMMENDED
MOTION:**

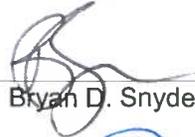
To recommend approval of case Colerain ZA2016-09; Speedway Gas Station, Major Modification to an approved Preliminary Development Plan in an existing "PD-I" Planned Industrial district, subject to the standard covenants for planned districts and the following conditions and variances:

Conditions:

1. That all conditions approved as part of case Colerain ZA2016-09 shall remain in effect for the Zone Amendment area.
2. That a common open space plan in compliance with the Zoning Resolution shall be submitted as part of the Final Development Plan.
3. That that the site plan shall be revised to include the required 60 feet of right-of-way from the centerline of Colerain Avenue in accordance with the Thoroughfare Plan.

NOTE: Recommendations and findings in this staff report reflect the opinions of the staff of the Hamilton County Planning and Zoning Department, but may not necessarily reflect the recommendation of any Commission. This staff report is primarily a technical report on the level of compliance with adopted land use regulations and plans. The report is prepared in advance of public hearings and often in advance of other agency reviews. Additional information from other agency reviews and public review is considered by appointed commissions and elected boards. Therefore, the advisory and final decisions of such commissions and boards may result in findings and conclusions that differ from the staff report.

Prepared By:  Development Services Intern
Hanna Puthoff

Reviewed By:  Development Services Administrator
Bryan D. Snyder, AICP

Approved By:  Interim Executive Director
Steve Johns, AICP

SITE PHOTOS



Looking southwest toward shopping center



Looking north at the construction of adjacent Rumpke building and area to be included in new building



Looking north/northeast at the buffering and expansion area from rear of existing site



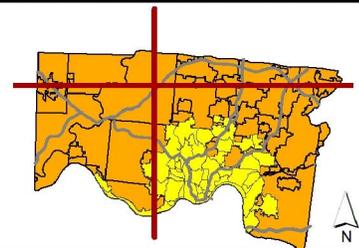
Looking north at the site and buffering from southern driveway/shopping center



VICINITY MAP

Case: Colerain ZA2016-09 - Speedway Gas Station
Request: Major Modification

Printed: 11/20/2018
 Printed By: Hanna Puthoff



DISCLAIMER:
 Neither the provider nor any of the parties of the Cincinnati area geographic information system (CAGIS) make any warranty or representation, either expressed or implied, with respect to this information, its quality, performance, merchantability, or fitness for a particular purpose. As a result this information is provided "as is", and you, the recipient, are assuming the entire risk as to its quality and performance. In no event, will the provider or any party of CAGIS be liable for direct, indirect, incidental, or consequential damages resulting from any defect in the information or any other part of the map product, even if advised of the possibility of such damages. In particular, neither the provider nor any party of CAGIS shall have any liability for any other information, programs or data used with or combined with the information received, including the cost of recovering such information, programs or data. Any floodway and flood fringe information provided on this map is for conceptual planning purposes only. For official determination of limits recipient must refer to the 1982 FEMA floodway fringe maps. Large differences can exist between actual flood prone area and official FEMA flood fringe areas.

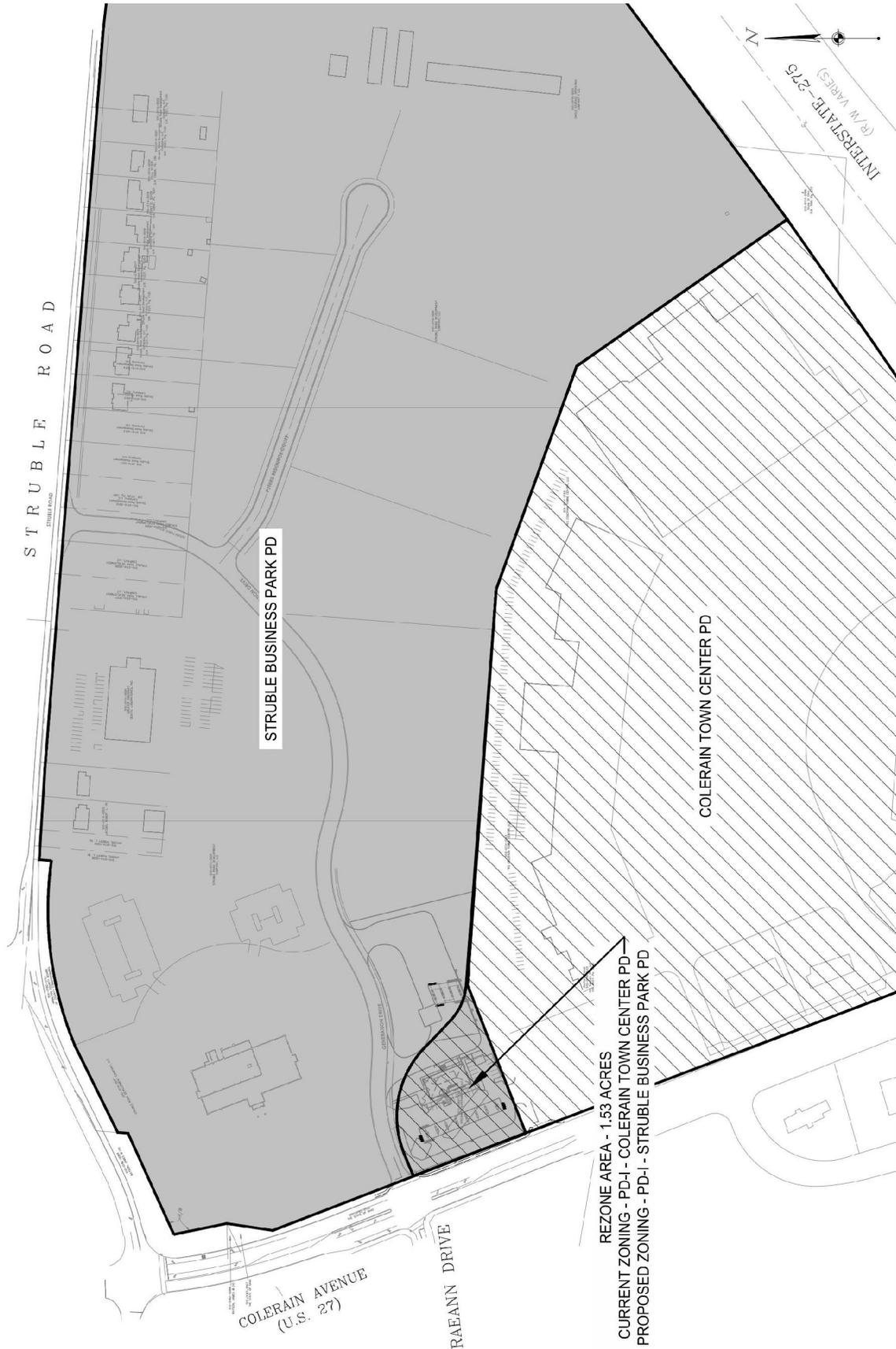
LAND USE PLAN MAP



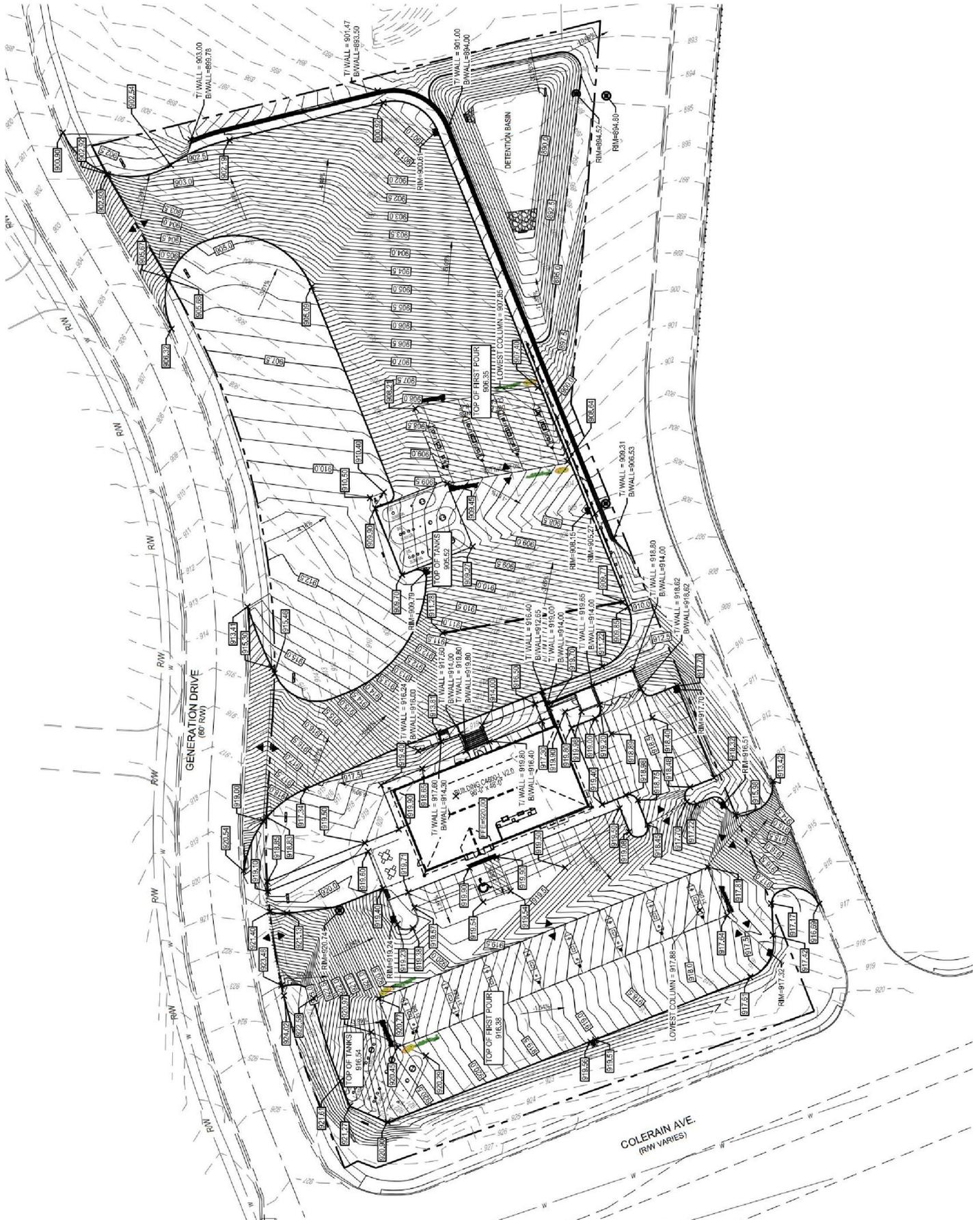
- Land Use Plan
- Green Space & Agriculture
 - Retail General
 - Industry Heavy
 - Industry Light
 - Residence Multi-Family
 - Retail Neighborhood
 - Office
 - Planned Mixed Use Employment
 - Public, Semi-Public, Institutional
 - Rural Residence
 - Residence Single Family
 - Mixed Use Transitional
 - Residence Transitional
 - Utility

*Map taken from Township website, not adopted by RPC

EXISTING SITE PLAN REFLECTING ZA & FDP APPROVALS



PROPOSED GRADING PLAN



APPLICANT LETTER



October 23, 2018

Ms. Jenna LeCount
Director of Building, Planning and Zoning
Colerain Township
4200 Springdale Road
Cincinnati, OH 45251

Hand Delivered

RE: Preliminary Development Plan Amendment Application – Speedway Store #9336 at 10270 Colerain Avenue – Site Expansion and New Construction

Dear Ms. LeCount:

Speedway LLC (formerly known as Speedway SuperAmerica) owns and operates an existing Speedway convenience store with fuel sales at 10270 Colerain Avenue. The existing site is approximately 1.53 acres and is located at the southeast corner of Colerain Avenue at the newly constructed Generations Drive. Speedway has a contract to purchase approximately 1.5 acres located east adjacent to the existing store from Struble Road Development Company LLC. Speedway proposes to combine the existing site with the property to be purchased to form a 3.03 acre parcel that will allow construction of a new store.

As you know, the existing Speedway store is zoned PD-I Planned Development as is part of the Colerain Town Center PD. The property to be purchased from Struble Road Development Company is also zoned PD-I Planned Development but is part of the Struble Road Business Park PD. Application is being made to have both the existing Speedway parcel and the proposed site to be in the same Planned Development district. It is my understanding that the Township prefers to “move” the existing Speedway site into the Struble Business Park PD and that is our request. (Speedway does not object to keeping the existing Speedway site in the Colerain Town Center PD and “moving” the proposed property into the Colerain Town Center PD if that is preferred by the Township.)

As the enclosed plans illustrate, Speedway proposes to raze the existing structures and build a new 4,608 SF convenience store with fuel sales. The store will operate 24 hours daily and will contain a food service component operated by Speedway called Speedy Café. The store will have 8 fuel dispenser islands under a canopy for automobile customers located in front/to the west of the store. The store will also have 3 commercial fueling lanes for truck customers. The commercial fueling lanes will be located behind/east of the store. The location of the proposed freestanding sign is shown on the plans to be near the intersection of Generations Drive and Colerain Avenue. Speedway also proposes directional signs at the driveways on Generations Drive of a size to clearly indicate the proposed entrance-only and exit-only for truck customers.

Separate auto and truck customer access is proposed. The auto access will be from the existing driveway entrance on Generations Drive north of the site and the southern entrance from the shared access driveway will be shifted/rebuilt approximately 12 feet east of its current location to

Planning • Zoning • Development Services

provide better internal circulation and alignment. The commercial fueling area will have one entrance-only driveway on Generations Drive the eastern portion of the site and one exit-only driveway on Generations Drive in the "middle" of the road frontage along Generations Drive.

The store will be one-story tall with a shingled pitched roof. The store will be constructed of masonry on all four sides. There will be a front door facing Colerain Avenue and a side entrance facing Generations Drive. There will be a rear entrance on the east side of the store for the commercial fueling customers. The proposed site will include a small outside eating area with permeant tables, seats and umbrellas on the north side of the store. A dumpster enclosure is proposed on the south side of the site. 24 parking spaces are proposed.

A preliminary grading plan for the site has been provided. The commercial fueling lanes will be lower than the proposed store. Storm water detention will be located to the southeast corner. A preliminary utility plan is included with the proposed plans.

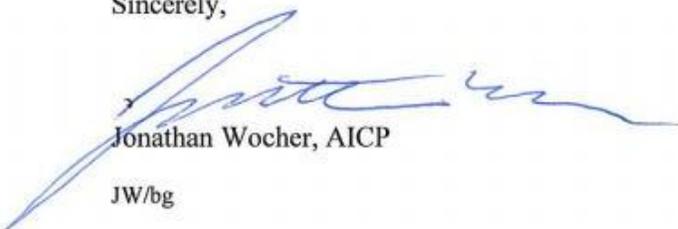
We believe the proposed new convenience store and fueling are an appropriate use in this location and will be complimentary to the existing and developing uses in the area.

By transmitting this request, it is my understanding that the Colerain Township Zoning Commission will review this application at their regularly scheduled meeting on Tuesday, December 18, 2018 at 7:00 PM.

As required, I am transmitting 15 copies of this letter, the application form, a check for \$1,300.00 for the application fee, a list of surrounding property owners, the legal description and a MSD Availability Letter. I am also transmitting 15 folded sets of full size plans, 15 reduced size sets of plans, and a flash drive containing digital versions of the drawings. Please let me know if additional information is needed.

Thank you in advance for your continued assistance. Please do not hesitate to contact me with any questions or comments. We look forward to working with the Township on this project.

Sincerely,



Jonathan Woche, AICP

JW/bg

Enclosures

cc: Speedway
CESO

MDC #4074



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Director of Building, Planning and Zoning
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Thank you in advance for your continued assistance. Please do not hesitate to contact me with any questions or comments. We look forward to working with the Township on this project.

Sincerely,



Jonathan Wochoer, AICP

JW/bg

Enclosures

cc: Speedway
CESO

MDC #4074

APPLICATION FOR ZONE MAP AMENDMENT
 REQUIRING A PRELIMINARY DEVELOPMENT PLAN
 or MAJOR AMENDMENT TO A FINAL DEVELOPMENT PLAN
 COLERAIN TOWNSHIP ZONING COMMISSION
 4200 SPRINGDALE ROAD
 CINCINNATI, OH 45251

Case No.: ZA _____ Date Filed: _____

Date of Preliminary Hearing (if applicable): _____

Request Change from: PD-I (Colerain Town Center) to: PD-I (Struble Business Park)

Township: Colerain Book: 510 Page: 182 & 114 Parcels: 0156 & 0001

Physical location of property (address or brief description if no address assigned):
10270 Colerain Avenue and 1.54 +/- acres to the east of the existing Speedway store

Name of Applicant: Jonathan Wochoer, AICP

Telephone No.: 513-561-6232 x.4 Email Address: jwochoer@mcbrieddale.com

Address: McBride Dale Clarion 5721 Dragon Way, Suite 300

City: Cincinnati State: Ohio Zip: 45227

*Name of Owner(s): Speedway LLC (fka SuperAmerica LLC) - owner and optionee

Telephone No.: 937-863-6252 Attn: Rusty Young Email Address: *jryoung@speedway.com

Address: 539 S. Main Street c/o Real Estate Department

City: Findlay State: Ohio Zip: 45840

Name, address and parcel number of each property owner of record within the proposed amendment area:

1. Speedway SuperAmerica LLC 539 S. Main Street Findlay, Ohio 45840
2. Struble Road Development Company LLC 10795 Hughes Road Cincinnati, Ohio 45251
3. _____

(attach separate sheet if necessary for additional parcels)

Signatures: _____
 Applicant: Rusty Young Speedway Project Mgr Date: 10-11-18

*Owner: _____ Date: _____

*Owner: _____ Date: _____

Filing fees shall accompany the application. Make check payable to: *Colerain Township Board of Trustees.*

Filing fee: _____ Legal notices: _____ Cert. Mail: _____ TOTAL: _____

THERE SHALL BE NO REFUND OR PART THEREOF ONCE PUBLIC NOTICE HAS BEEN GIVEN.

*Although the Applicant need not be the same as the Owner(s), the Owner(s) shall co-sign for an amendment.

**APPLICATION FOR ZONE MAP AMENDMENT
REQUIRING A PRELIMINARY DEVELOPMENT PLAN
or MAJOR AMENDMENT TO A FINAL DEVELOPMENT PLAN
COLERAIN TOWNSHIP ZONING COMMISSION
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3. _____

(attach separate sheet if necessary for additional parcels)

Signatures:

Applicant: _____ Date: _____

*Owner: _____ Date: _____

*Owner: X William J. Rumpke Jr Date: 10-11-18

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*Although the Applicant need not be the same as the Owner(s), the Owner(s) shall co-sign for an amendment.



**Submission Requirements
for Amendment to the Colerain Township Zone Map
and Preliminary Development Plan
or Major Amendment to a Final Development Plan**

For office use only:

Case #:

See Zoning Resolution Section 4.3 for full description of the Amendment process. For questions, clarification, and confirmation of meeting times, please call the Colerain Township Planning & Zoning Department at (513) 385-7505.

All required items must be submitted by the published deadline for the desired Zoning Commission meeting.

- Application letter signed by the property owner, describing the proposed zone change and project. (15 copies)
- Completed application form.
- Application fee.
- Legal description of the property.
- Names and addresses of property owners adjacent to the subject property.
- Hamilton County Public Works and SDS applications. (2 copies)
- Letter confirming conceptual approval of sewer from MSD or OEPA as applicable.

Drawing Copies required:

Fifteen (15) full size copies of the drawings listed below, signed and stamped by registered professional preparer. These should be folded to 8.5" x 11", with title block visible.

Fifteen (15) 11" x 17" copies of the drawings listed below.

Digital version REQUIRED for each of the drawings listed below, in JPEG or PDF format (use colors readable on white background), on CD. To email, contact the Planning & Zoning Dept. for contact: 513-385-7505.

Site Drawing(s) shall include:

- Vicinity map.
- Existing property lines, dimensions, and orientations.
- Parcel IDs and names of property owners adjacent to the subject property.
- Adjacent streets and rights-of-way.
- Existing and proposed zoning district boundaries.
- Existing buildings and structures on property and on adjacent property within 50 feet of property line.
- Proposed new construction and site work.
- Equipment, outbuildings, dumpster locations, etc. that will be visible on the site.
- Proposed demolition of existing buildings, pavement, fencing, etc.
- Total gross and net acreage of the site and square footage of existing and proposed buildings.
- Existing flood plain elevation.
- Proposed flood plain drainage and control measures.
- Dimensions for setbacks, rights-of-way, easements, and other site restrictions.
- Parking and loading configuration, including calculation of total spaces, criteria used to determine total needed, pavement detail, curb location, curb detail, and aisle and stall dimensions.
- Watershed details for site and within 200 feet around site. Include GPM calculations for expected runoff for 5, 10, and 50 year storms.
- Proposed site drainage, including water retention/detention and sedimentation control measures.
- Building downspouts and storm sewer sizes and locations.
- Existing site contours (5' minimum) and proposed grading plan.
- Impervious surface ratio (for non-single family projects).
- Location(s) of any existing and proposed ground signage.

Building Drawing(s) shall include:

- A building plan for each building, showing the interior layout of the building and overall dimensions.
- Exterior elevations shall show all major mechanical equipment, satellite dishes, etc. that will be located on the exterior of the building and the method(s) of screening these items.

(over)

- Exterior elevations of all sides of proposed new construction (including significant renovation). Building materials should be noted. (For additions to existing buildings, sufficient portions of the existing building shall be shown in elevation to convey an understanding of the relationship between new construction and existing.
- A roof plan shall be submitted if any major items of equipment are to be located on the roof. (Drawings, photographs, and/or manufacturer's literature may be required to convey the size and character of these items.)

Landscape Drawing(s) shall include:

- Clearing limits and existing plant material that is to remain, including an indication of the size of all major trees, shrubs, etc. Existing trees of four-inch caliper and greater must be shown if subject to removal. (Size and extent may be conveyed by photograph.)
- Proposed new landscaping including notation indicating size and species of all new plants.
- Existing landscaping on adjacent properties must be indicated if it influences the landscape planning for the site under construction (may be conveyed by photograph).

Lighting and Signage Drawing(s) shall include:

- Text, color, dimensions, character, and location of all existing and proposed signage. (Building mounted signage may be shown on the building elevations.)
- Location, dimensions, details and specifications for exterior lights, including type of standards and radius of lights.
- Photometric chart showing intensity in footcandles across the site and at property lines.

Checklist completed by: Jonathan Woche
(print or type name)

Signature: 

Phone/email: 513-561-6232 x.4 jwocher@mubrideale.com

All required items must be submitted by the published deadline for the desired Zoning Commission meeting.

For Office Use Only:
Preapplication Conference:
Fees Paid:
RPC meeting:
Zoning Commission:
Trustees Hearing:

Jesse Urbancsik

From: Alberto, Marcelo <Marcelo.Alberto@hamilton-co.org>
Sent: Friday, November 9, 2018 8:47 AM
To: Jesse Urbancsik
Cc: James Gleason
Subject: RE: ZA8-1988 & ZA2016-09 10270 Colerain Avenue - Speedway | For Comments

Mr. Urbancsik,

The proposed project will require an earthwork permit and must submit plans to the District addressing the following items:

- Sites disturbing more than 1 acre of ground for construction activities in Ohio must file a notice of intent (NOI) to the Ohio EPA for Stormwater discharge associated with construction. A copy of the approved NPDES Construction NOI must be provided to the District. Instructions to file this notice can be viewed at: <https://ebiz.epa.ohio.gov/login.html>
- The final development plans must include the Stormwater Pollution Prevention Plan (SWPPP) compliant with the Post Construction Water Quality requirements under the 2018 Ohio EPA Construction General Permit. The 2018 OEPA CGP can be viewed at the OEPA website: http://epa.ohio.gov/dsw/permits/GP_ConstructionSiteStormWater
- The final development plans must include the Erosion Prevention and Sediment Control Plan (EP&SC Plan) compliant with the requirements under the Rules and Regulations of the Hamilton County Soil & Water Conservation District and the Hamilton County Stormwater District Governing Earthwork. The regulations can be downloaded from http://www.hamilton-co.org/stormwater/HCSWD_Rules_And_Regulations.htm.
- The EP&SC must address the "Earthwork Requirements for Improvement Plans" under Section 309 of the Earthwork Regulations.
- The EP&SC must comply with the requirements of Section 310 "Erosion Prevention and Sediment Control Performance Standards" and Section 312 "Non-Sediment Pollution BMP Performance Standards"
- The Erosion Prevention and Sediment Control Plan or the Stormwater Pollution Prevention Plan must use best management practices (BMPs) approved under the 2006 State of Ohio Rainwater and Land Development Manual. The Rainwater and Land Development Manual can be downloaded from the Ohio EPA website at: http://epa.ohio.gov/Portals/35/storm/technical_assistance/RLD_11-6-14All.pdf
- The Erosion Prevention and Sediment Control Plan must also include Non-sediment Pollutant Controls. Non-sediment pollutant sources, which may be present on a construction site, include paving operations, concrete washout, structure painting, structure cleaning, demolition debris disposal, drilling and blasting operations, material storage, slag, solid waste, hazardous waste, contaminated soils, sanitary and septic wastes, vehicle fueling and maintenance activities, and landscaping operations.
- The grading plan will also be reviewed for compliance with Section 311 of the Earthwork Regulations "Geotechnical Performance Standards". Depending on the review, the earthwork might have to be monitored by a geotechnical engineer during construction and certified upon completion. The geotechnical report must be forwarded to the District.

Please let me know if you have questions.

Sincerely,

Chey Alberto
HCSWCD

From: Jesse Urbancsik [mailto:jurbancsik@colerain.org]
Sent: Thursday, November 01, 2018 3:46 PM
To: Beck, Eric; Cassiere, Greg; Alberto, Marcelo; Mark Walsh; Islam, Mohammad; Schmidt, Penny; Parker, Steven; Tom Makris
Cc: Jenna LeCount; Martin Kohler
Subject: ZA8-1988 & ZA2016-09 10270 Colerain Avenue - Speedway | For Comments

Good afternoon everyone,

case **ZA8-1988 & ZA2016-09 10270 Colerain Avenue – Speedway** is planned to be placed on the agenda for the **December 6, 2018 Hamilton County Regional Planning Commission Meeting**. This case is a **Preliminary Development Plan Amendment** for Speedway Store #9336 for a site expansion and new construction.

This case has been placed on the agenda for the **December 18, 2018 Zoning Commission Meeting**.

Any comments you can provide to me before **December 10th** would be greatly appreciated.

Please find the application and supporting documents attached.
Feel free to contact us with any questions.

Thank you!

JESSE URBANCSIK
PLANNER | Planning & Zoning Department

COLERAIN TOWNSHIP
4200 Springdale Road
Colerain Township, OH 45251
513-923-5021 – DIRECT
513-245-6503 – FAX

Get in the [Cerkl](#) to stay up-to-date with the latest in Colerain Township

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County of Hamilton

THEODORE B. HUBBARD P.E. - P.S. COUNTY ENGINEER

700 COUNTY ADMINISTRATION BUILDING

138 EAST COURT STREET

CINCINNATI, OHIO 45202-1232

PHONE (513)946-4250 FAX (513)946-4288

November 9, 2018

Colerain Township
4200 Springdale Road
Colerain Township, OH 45251

Attn: Jesse Urbancsik, Planner

RE: ZA 2016-09, Colerain Avenue, Zone Map Amendment

Dear Mr. Urbancsik,

The Hamilton County Engineer's Office has conducted a review of the subject Zone Map Amendment as requested. The following comments are submitted as a result of our review:

- 1) Grading within the right-of-way must conform to the most appropriate Hamilton County typical section. Any grading plan having an effect on the public right-of-way must be reviewed and approved by the Hamilton County Engineer's Office. Right-of-way clearing and grading must occur during the initial phase of construction to facilitate utility relocation operations.
- 2) No landscaping, screening or obstructions shall be permitted in the public right-of-way.
- 3) Colerain Avenue (US 27) is a state highway under the jurisdiction of the Ohio Department of Transportation. The State of Ohio must be contacted for their recommendations.

This office reserves the right to add, delete or make modifications to the above stated comments. Should any questions arise, please contact the undersigned at 946-8432.

Very truly yours,

THEODORE B. HUBBARD, P.E.-P.S.
HAMILTON COUNTY ENGINEER



Eric J. Beck, P.E.
Deputy Engineer

June 15, 2018

Tana Bere
McBride Dale Clarion
5721 Dragon Way
Cincinnati, OH 45227



**Subject: Conditional Availability of Sewers
Gas Station – (10) Gas Islands, (21) Parking Spaces, (6) Employees
Auditor's Parcel Number 0510-0182-0156 & 0510-0114-0001
10270 Colerain Avenue
Colerain Township
APD Number HMD1800222**

Dear Ms. Bere,

Your sewer availability request for the property referenced above has been processed and approved. Sanitary sewer service is available via the existing connection to the existing sewer on site, subject to the following requirements and conditions:

1. All plans and construction shall comply with the latest edition of the MSD Rules and Regulations which governs the design, construction, maintenance, operation, and use of sanitary and combined sewers. This document can be downloaded from the MSD website at http://www.msdbg.org/about_ms/legal_and_organizational_documents/msd-rules-regulations/.
2. Private sanitary sewer easements with the right of entry for maintenance will be required for all portions of the proposed building sewer that will traverse existing or subdivided parcels other than the one to be serviced. Recorded copies of the executed easement(s), and of the revised deed(s) for the lands of the grantors referencing the private sewer easement, must be submitted to MSD prior to building permit sign-off and tap permit issuance.
3. Upon the successful completion of proposed sanitary sewer SS 6668, a tap permit may be issued for this property.
4. This development shall be subject to the requirements of Article XV of the MSD Rules and Regulations, which requires filing the appropriate Waste Discharge Permit Application as a condition of obtaining sewer service. These forms can be downloaded from the MSD website at http://www.msdbg.org/customer_care/industrial_user_resources/index.html. Additional information can be obtained by contacting the MSD Division of Industrial waste at 513.557.7000.

The conditional availability of sewer service as described in this letter is effective until June 15, 2019 and may be extended for one additional year in accordance with Article V, Section 510 of the MSD Rules and Regulations. Extension requests may be made within thirty (30) days of the expiration date of this application. Subsequent extension requests may or may not be granted depending on the availability of sewer credits, hydraulic capacity of the sewer system, and/or other factors that may affect MSD's ability to accept additional sanitary flows into our sewer system.

This determination of sewer availability is based on the best information available at this time to the Metropolitan Sewer District of Greater Cincinnati and is subject to modification or revocation resulting from regulatory action taken by the United States Environmental Protection Agency, the State of Ohio Environmental Protection Agency, from federal consent decrees, or other judicial action ordered by federal courts of the United States Government or the courts of the State of Ohio.

If you have any questions, please call Robert Franklin at 513.557.7188 or me at 513.244.1351.

(Continued on Reverse Side of Page)

Sincerely,



Steven Parker, P.E.
Supervising Engineer
Development Services

SP:rjf

cc: Availability File, Colerain Township